

M E M O R A N D U M

TO: Parks and Recreation Board

FROM: Manuel A. Mollinedo, Director  
Parks and Recreation Department

DATE: May 28, 1991

SUBJECT: Proposal to Name the Zilker Butterfly Trail

Mr. Willie Kocurek, President of the Texas Botanical Garden Society, has submitted an Application for Facility Naming to designate the Butterfly Trail at the Zilker Garden Center as the William Douglas "Doug" Blachly Butterfly Trail.

Mr. Blachly has devoted countless hours to volunteer work at the Garden Center and is a founding member of the Texas Botanical Society, the Capital Area Chrysanthemum Society, Austin Men's Garden Society, Austin Rose Society, Austin Area Garden Council, and the Travis County Horticultural Committee. Mr. Blachly has served as President of the last four of these organizations.

In his most recent volunteer project, Mr. Blachly has been one of the major participants in developing the first phase of the Zilker Butterfly Trail, which contains plants on which butterflies feed during the adult stage of their life span. This Spring, Mr. Blachly's daughter Ms. Patricia Blachly Meadows donated \$10,000 on behalf of her father to complete the butterfly nursery trail, which features plants on which butterfly eggs and juveniles depend for food and shelter. The nursery trail ensures the availability of plants essential for the juvenile stage of the butterfly life cycle. Many of the necessary plants will be donated by Mr. Blachly, as he did for the first phase of the trail.

The Parks and Recreation Department recommends approval of the nomination to adopt the name William Douglas "Doug" Blachly Butterfly Trail.

*Carolyn Nelson*

for Manuel A. Mollinedo, Director  
Parks and Recreation Department

MAM:SS

APPLICATION FOR FACILITY NAMING

I/We TEXAS BOTANICAL GARDEN SOC. request that the name of  
WILLIAM DOUGLAS "DOUG" BLACHLY be considered for the  
Person

BUTTERFLY TRAIL facility located at  
the Texas Bot. Garden Soc. / Austin Area Garden Center in ZILKER PARK

Biographical Synopsis: \_\_\_\_\_

SEE RESUME ATTACHED

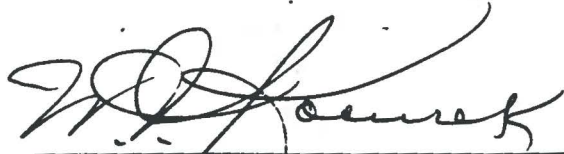
Justification: \_\_\_\_\_

SEE THE RESUME AND ESPECIALLY  
THE SECOND PAGE AND MORE ESPECIALLY  
THE LINE MARKED WITH \*.

Estimated cost for replacement of signs and plaques <sup>\*</sup>GRATUITIOUS [HOPE].

I/We will pay full cost \_\_\_\_\_ or will participate \_\_\_\_\_ % in the cost.

[\* Previous sign identifying same (w/ PARD and T.B.G.S.) done gratuitously]  
Submitted to the Public Works Department this 15 day of MAY,  
1991.

  
\_\_\_\_\_  
Signature  
Pres. Tex Bot Garden Society



Resume  
William Douglas Blachly

Born Feb. 6, 1906, Pawhuska, Oklahoma

Reared on farm in Northeastern Oklahoma

Attended Oklahoma State University:

BS - 1930 Agricultural Economics - Horticulture

MS - 1931 Statistics

Married Irene Bond - 1933, also a graduate of Oklahoma State University

Have 3 children: Patricia Blachly Meadows, Dallas, Texas; William E. Blachly, New York City; Robert D. Blachly, Washington, D.C.  
6 grandchildren and 1 great-granddaughter

Employment:

U. S. Department of Agriculture: Dec. 1933 - Jan. 1966. Statistician in Agricultural Statistics Div. The Department sent their young men to different parts of the U. S. for broader experience. My assignments were:

Oklahoma City, Okla.; Amarillo, Texas; Washington D.C.; Little Rock, Arkansas; Charleston, West Virginia; then Austin, Texas where I retired in 1966.

Participation in Horticultural activities in Austin:

Founding member and Past President of:

Austin Mens Garden Club

Austin Rose Society

Austin Area Garden Council

Travis County Horticultural Committee, <sup>past</sup> Chairman

Founding member of:

Texas Botanical Garden Society

Capitol Area Chrysanthemum Society

Presently involved in:

Mens Garden Club

Chairman of Zilker Botanical Garden Volunteer work program

Member of Board of Directors

Leader in Texas Star Test Garden

Accredited judge

Austin Rose Society  
Member Board of Directors  
ARS Consulting Rosarian

Austin Area Garden Council  
Chairman Building and Grounds Comm. of Zilker Botanical  
Garden Center  
Leader of Texas Star Test Garden

Travis County Horticultural Comm.  
Member

Texas Botanical Garden Society  
Chairman of Horticulture Comm.  
~~\*~~ Chairman of Butterfly - Humming Bird Trail and Garden Comm.  
Member Board of Directors

Capital Area Chrysanthemum Society  
Member

1968 - 1976 Producer and Host of "Lawn and Garden" for KLRN TV. See enclosed article.

1982- 1988 Coordinator of Practical Gardening program, sponsored by Lifetime Learning Institute and Mens Garden Club of Austin. See sample.

I built my first greenhouse in 1967 and expanded in 1970. These greenhouses were on the back of our Carlton property. My production was primarily hanging baskets which were just becoming popular at that time. Everything I grew was put in them - even made a few baskets out of Johnson grass and sweet potato vines! I grew mostly petunias, jess, impatiens and bougainvillia for baskets. For about 10 years my annual production was about 6000 baskets. I have recently discontinued all commercial growing. However, I continue to grow plants in 2½" pots to give 3rd and 4th grade students who attend plant - animal interaction <sup>classes</sup> at the Garden Center. During 1989 these amounted to about 2500 plants. I have also grown in 1 gallon and 5 gallon containers over 1000 butterfly-attracting plants to be used in the Butterfly Trail.





MEMORANDUM

TO: Parks and Recreation Board

FROM: Manuel A. Mollinedo, Director  
Parks and Recreation Department

DATE: May 28, 1991

SUBJECT: Approve Naming for Slaughter Creek Metropolitan Park

(Circle C)

Since 1985, the City has owned 412 acres of dedicated parkland within the Circle C Subdivision, but no formal name has been adopted for the park.

The most notable natural feature in this park is Slaughter Creek, which flows through the entire length of the property. I recommend adoption of the name Slaughter Creek Metropolitan Park. Austin has a tradition of naming parks after significant natural features. The Parks Board policy for naming parks and recreational facility includes, as the first criteria, "that, where possible, names will reflect prominent land features".

Slaughter Creek, one of the major creeks in south Austin, traverses this park and, four miles downstream, forms the southern boundary of Mary Searight Metropolitan Park, before it flows into Onion Creek. Slaughter Creek was, in turn, named for an early Austin pioneer family, whose first cabin was a few miles east of the park.

Naming the park in Circle C for a south Austin creek will form a companion to the north Austin metropolitan park which is also named for a major creek system; Walnut Creek Metropolitan Park.

I recommend your approval of the name Slaughter Creek Metropolitan Park for the parkland in the Circle C Subdivision.

*Carolyn Nelson*

for

Manuel A. Mollinedo, Director  
Parks and Recreation Department

MAM:SS

APPLICATION FOR FACILITY NAMING

I/We Stuart Strong request that the name of  
Slaughter Creek Metropolitan Park be considered for the  
Person

Parkland facility located at  
Escarpment Boulevard and Slaughter Lane West.

**Biographical Synopsis:** Slaughter Creek is named for Stephen F. Slaughter,  
one of the original settlers in the Austin area. The Slaughter family came to  
the Austin area after receiving a league of land in Travis County from the  
Mexican government in 1835. Slaughter came to Texas from Kentucky with a  
colony of settlers organized by Ben Milam.

**Justification:** Slaughter Creek, the major natural feature in the park,  
flows approximately 2 1/2 miles through the entire length of the parkland.  
The clear water of Slaughter Creek has produced a rich corridor of plants,  
wildlife and, for early Austin pioneers, a dependable source of water.  
Slaughter Creek contributes to the Edwards Aquifer and, at points in the  
creek bed, the subterranean flow of water can be heard through openings in the  
limestone bedrock. Adoption of the name Slaughter Creek Metropolitan Park will  
recognize the creek as a significant natural feature of south Austin.

Estimated cost for replacement of signs and plaques \$1000.  
I/We will pay full cost XX or will participate     % in the  
cost.

Submitted to the Public Works Department this 17th day of May,  
1991.

Stuart Strong  
Signature

# Proposed Funding Sources for 1991-92 Capital Budget

<u>Project Title</u>	<u>Cash Carried Over to FY 91/92</u>
Roof Replacements - Park Facilities	\$ 32,000
Roof Replacements - FY '91	68,420
Shoal Creek Flood Repair	27,589
Flood Repairs - Insurance	199,000
Accessible Adaptations Fund	29,671
Boggy Creek Greenbelt/Flood Related	1
Dove Springs District Park	920,000
Searight Park	300,000
Zachary Scott Theatre	753,750
Old Bakery Renovation	71,353
Old Bakery	325,984
Dick Nichols Park Development	247,700
Veloway at Circle C	806,000
Velodrome Design	50,000
Little Walnut Creek PLD (Georgian Acres)	3,960
PLD Zone 8	16,193
PLD Zone 2	39,362
PLD Zone 1	9,235
PLD Zone 10	4,172
PLD Zone 5	3,480
PLD Zone 4	1,722
PLD Zone 9	1,260
PLD Zone 6	513
PLD Zone 3	4,065
PLD Zone 7	18,155



<u>Project Title</u>	<u>Cash Carried Over to FY 91/92</u>
AIPP - Interm Terminal Expansion	\$ 20,000
AIPP - Oakhill Park Development	2,900
Montopolis Ballfield	40,000
Thorpe Ballfield	60,000
Town Lake Bikeway	200,000
Zilker Park Playscape Renovation	5,000
Zilker Park Renovation	161,171
Community Swimming Pool-Zone 10 (Dittmar)	70,000
Community Swimming Pool-Zone 10 (Dittmar)	47,000
Town Lake Redevelopment	250,000
Town Lake Renovation	157,568
Gillis Park	30,000
Northeast District Park	15,000
Hancock Golf Course Irrigation	10,000
Colorado River Park Acquisition	205,781
Shipe Pool Renovation	50,00
Community Gardens	4,528
Govalle Pool Renovation	40,000
Growth Area Land Acquisition	278,303
East Bouldin Creek Acquisition	196,660
Little Walnut Creek Acquisition	114,103
Langford Park	121,000
Williamson Ck Grblt Devel	50,000
Oak Springs Detention Pond	30,000
Paramount Theatre	2,000,000
Battlebend Neighborhood Park	5

<u>Project Title</u>	<u>Cash Carried Over to FY 91/92</u>
Comal Park	2
Mabel Davis Park	1
Land Acquisition Zone 2	100,000
Little Walnut Creek Greenbelt Acquisition	1

# Proposed Funding Sources for 1991-92 Capital Budget

<u>Project Title</u>	<u>Authorized but Unissued Bonds to be sold</u>
Shoal Creek Flood Repair	\$ 2,411
Boggy Creek Greenbelt/Flood Related	3,586
Bartholomew District Park/Pool	193,364
Northeast District Park	6,030
Govalle Pool Renovation	60,477
Fiesta Gardens	162,403
Recreation Center - Zone 10 (Dittmar)	2,556
Metz Pool Renovation	12,600
Zaragoza Pool Renovation	7,278
Patterson Pool Renovation	2,800
Reed Park Renovation (Pool)	1,237
Brentwood Pool Renovation	981
Westenfield Pool Renovation	767
Community Swimming Pool - Zone 1 (Canyon Vista)	452
Community Swimming Pool - Zone 2 (Balcones)	44
Zone 2 Land Acquisition Undesignated	342,156
Land Options Acq.	49,939
Nature Preserves Management	100,000
Barrington School Park	113,884
Colony Park	44,940
Battlebend Neighborhood Park	16,159
Bull Creek District Park Development	34,670
Comal Park	6,783
Mabel Davis Park	32,981
Onion Creek Park/Greenbelt Devevelopment	56,239



Project Title

Authorized but Unissued  
Bonds to be sold

Festival Beach Restroom

\$ 16,816

Little Walnut Ck Greenbelt Acq.

157,708

SCHEDULE OF EVENTS FOR 1991-92 CAPITAL BUDGET  
AND CAPITAL IMPROVEMENTS PLAN

May 6, 1991	Preliminary report on 1991-92 Capital Budget and Capital Improvements Plan; Presentation to the CIP Subcommittee by the following department: Water and Wastewater Utility
May 7, 1991	Transmittal of Options for 1991-92 Capital Budget and the Capital Improvements Plan document to the Planning Commission, Boards & other Commissions
May 13, 1991	Presentations to the CIP Subcommittee by the following departments: Aviation Electric Utility
May 20, 1991	Presentations to the CIP Subcommittee by the following departments: Public Works Parks & Recreation
May 27, 1991	Presentations to the CIP Subcommittee by the following departments: Convention Center Emergency Medical Services Environmental & Conservation Services Fire General Services Hospital Library Police
June 3, 1991	CIP Subcommittee meets to discuss issues regarding 1991-92 CIP
June 7, 1991	Boards and Commissions submit recommendations to the Planning Commission
June 10, 1991	CIP Subcommittee meets to discuss issues regarding 1991-92 CIP
June 11, 1991	Public Hearing held by Planning Commission regarding the 1991-92 CIP
June 18, 1991	CIP Subcommittee's recommendations submitted to the Planning Commission
June 25, 1991	Planning Commission votes to determine Planning Commission's recommendations to the City Manager

June 28, 1991	Planning Commission submits recommendations on 1991-92 Capital Budget and Capital Improvements Plan to the City Manager
August 1, 1991	City Manager's Proposed 1991-92 Capital Budget and Capital Improvements Plan transmitted to the City Council
August 1, 1991 through September 12, 1991	City Council review and Public Hearings
September 12, 1991	Council approval of 1991-92 Capital Budget and Plan



DESCRIPTION OF CAPITAL IMPROVEMENTS

Serial/ Project Number	Project Title	Project Description
<b>PARKS AND RECREATION</b>		
823/867/0680	Accessible Adaptations Fund	Removal and redesign of architectural barriers to allow full participation by citizens with disabling conditions.
304/947/0005	AIPP - Decker Electric Shop	Provide art in accordance with the Arts In Public Places Ordinance in conjunction with improvements at Decker Electric Shop.
304/947/0004	AIPP - Holly Warehouse	Provide art in accordance with the Arts In Public Places Ordinance in conjunction with improvements at Holly Warehouse.
882/947/0007	AIPP - Interim Terminal Expansion	Provide art in accordance with the Arts In Public Places Ordinance in conjunction with improvements at Austin Municipal Airport.
835/947/0001	AIPP - Oakhill Park Development	Provide art in accordance with the Arts In Public Places Ordinance in conjunction with improvements at Dick Nichols Park.
92/86-07	Alamo Rec. Center Improvements	Renovation of floor and installation of insulation. Funds will be used as the City's 30% match for an Urban Parks and Recreation Recovery grant application.
823/867/0687	Barrington Sch/Pk	Installation of benches, water fountains, playscape, tennis courts and walkways.
821/867/0060	Bartholomew Dist Park/Pool	Remaining funding for installation of slides and waterscape improvements.
89/86-10	Basic Park Amenities	New basic park amenities for parks throughout the City. This includes replacement of picnic tables, benches, signs and walkways.
823/867/0688	Battlebend Neighborhood Park	Additional park, amenities to include lighting, picnicking and walkways.
823/867/0689	Boggy Ck Grnblt/Flood Related	Replacement of pedestrian bridge in Boggy Creek Greenbelt.
811/867/0471	Bullcreek District Pk Devel	Development of additional parking spaces, trails, and picnic facilities.
811/867/0247	Colony Park	Playscape, picnicking and park infrastructure at Colony Park.
823/867/0695	Colony Park Development	Playscape, picnicking and park infrastructure at Colony Park.
822/867/0081	Colorado River Park Acq	Acquire land adjacent to existing park in Montopolis area in order to create Colorado Metropolitan park as recommended in the Town Lake Comprehensive Plan.

# DESCRIPTION OF CAPITAL IMPROVEMENTS

Serial/ Project Number	Project Title	Project Description
823/867/0696 821/867/0073 821/867/0076	Comal Park Comm Swimming Pool-Zone 10 (Dittmar)	Installation of picnic tables, grills, and improvements to restrooms. Pool amenities such as decking, benches, shade structure additional fence, and landscaping.
811/867/0697	Community Gardens	Soil improvements, tilling, reshaping of gardens, fencing of existing public-owned open space to support neighborhood gardening under construction.
811/867/0249	Community Swimming Pool Z10 (Dittmar)	Funding to be used for construction of concession, lifeguard classroom and storage building.
811/867/0297	Congress Avenue Irrigation	Part of Downtown Revitalization effort; primarily for landscaping and irrigation of Congress Avenue.
823/867/0898	Cook School/Park	Upgrade of existing school/park to include playscape and water fountain.
833/867/0892	Dick Nichols Park Dev	Development of District park to include infrastructure. Playcourts, picnic areas and trail development. Awaiting possible additional Texas Parks and Wildlife Grant Funding.
823/867/5006	Dove Springs District Park	Initial development to include swimming pool and bathhouse, with parking, landscaping and irrigation.
834/867/0600	Downtown Art Museum	Scope to be defined by City Council.
823/867/0702	Downtown Revitalization	For tree planting and furniture in downtown area.
817/867/0107	East Bouldin Creek Acq	Acquire inner-city greenbelt in South Austin.
92/86-06	Elizabeth Ney Museum Floor	Restoration of hardwood floors at the E. Ney Museum.
811/867/0256	Festival Beach Restroom	Renovation of restrooms and landscaping buffer.
823/867/0703	Fiesta Gardens	Roof repairs at Fiesta Gardens rental facility.
823/867/5002	Flood Repairs - Insurance	Repairs to Shoal, Johnson and Boggy Creeks which were damaged in the 1980 flood. Insurance proceeds.
92/86-02	Garrison/Givens Pool Wiring	Renovation of unsafe electrical systems at Garrison and Givens Pools. Funds will be used as the City's 30% match for an Urban Parks and Recreation Recovery grant application.
811/867/0706	Gillis Park	Playscape renovation including demolition and installation of new equipment

DESCRIPTION OF CAPITAL IMPROVEMENTS

Serial/ Project Number	Project Title	Project Description
92/86-04	Govalle Park Ballfield Improvements	Safety and functional improvements to the league ballfield to include a new restroom, safety fencing along creek, and backstop/fence repair.
821/867/0063	Govalle Pool Renovation	Remaining funds to be used to increase pool area, for deck improvements, shade structure and landscaping.
811/867/0363	Growth Area Land Acq	Acquisition of parkland in the outer suburban areas of Austin.
876/897/0220	Hancock Golf Course Irrigation	Completion of irrigation system improvements and renovation of tee areas.
89/86-15	Irrigation Renovation	Retrofit existing irrigation systems at selected sites throughout the City to comply with State Plumbing Code.
876/897/0411	Jimmy Clay Expansion	Design and construction of a new 18 hole expansion to Jimmy Clay Golf Course
92/86-08	Jimmy Clay Golf Course Renovation	Construction of a pesticide storage building and golf course renovations.
822/867/0090	Land Acquisition Zone 2	Acquire parkland in Northeast Austin.
811/867/0365	Land Options Acq.	Funds will be added to parkland dedication fees to acquire neighborhood parkland in compliance with the Parkland Dedication Ordinance.
823/867/5003	Langford Park	Site improvements at Langford Park, including picnic and play areas for park deficient Southeast Austin neighborhood.
92/86-11	Lions Golf Course Improvements	To include installation of a restroom in the maintenance area, cart path restoration, and construction of a pesticide storage building.
811/867/0553	Little Walnut Ck Greenbelt Acq.	Acquire a section of Little Walnut Creek to connect to adjacent park.
817/867/0960	Little Walnut Creek Acq	Acquisition of parkland along Little Walnut Creek.
872/867/8203	Little Walnut Crk PLD (Georgian Acres)	PLD funds used to purchase park picnic tables and trail head amenities.
823/867/0715	Lucy Read School Park	Renovation of playground.
823/867/0716	Mabel Davis Park	Completion of walking trails and basketball improvements.
92/86-09	Mabel Davis Restroom	Construct a new restroom for park use.
92/86-13	Mayfield House and Grounds Renovation	Renovation of historic Mayfield House and grounds.
821/867/0066	Metz Pool Renovation	Funds to be used for deck improvements and landscaping.
823/867/5004	Montopolis Ballfield	Construction of two practice ballfields with parking on City owned land in the Montopolis area.



# DESCRIPTION OF CAPITAL IMPROVEMENTS

Serial/ Project Number	Project Title	Project Description
91/86-08	Morris Williams Golf Course	Irrigation renovation to utilize effluent.
92/86-12	Morris Williams Golf Course Impr.	Improvements to Morris Williams Golf Course to include course improvements and the construction of a pesticide storage building.
823/867/0718	Mt Bonnell	Safety improvements at Mt. Bonnell.
823/867/0719	Nature Preserves Management	Provide secure access, vehicle and trespassing control onto environmentally sensitive land at various locations.
823/867/0782	Northeast District Park	Volleyball court and trail improvements.
823/867/0783	Northwest District Park	Funds will be used to provide circulation through park, shade shelter, safety improvements around pond, picnic tables and additional landscaping.
811/867/0784	Oak Springs Detention Pond	Cooperative project with Department of Public Works and Transportation to make detention pond usable for sports and open play in east Austin.
811/867/0275	Old Bakery	Complete renovation of 2nd floor and repair of interior of building, including heating and AC, ramps, wall and window repairs, and balcony improvements.
823/867/0786	Old Bakery Renovation	Complete renovation of 2nd floor and repair of interior of building, including heating and AC, ramps, wall and window repairs, and balcony improvements.
823/867/0787	Onion Ck Pk/Gnblt Dev Zone 10	Development of greenbelt trail system and picnic sites.
86/86-10	Paramount Theatre	Aquire and renovate the State Theatre.
92/86-10	Park Road and Parking Lot Repairs	Road and parking lot repairs at numerous parks.
823/867/0790	Patterson Park	General park improvements to include handicapped accessibility modifications, water fountains, and sand volleyball court.
821/867/0068	Patterson Pool Renovation	Funds for additional landscaping.
823/867/0792	Pillow School Park	Improvements to school park to include trail, covered picnic shelter, picnic tables, and landscaping.
872/867/0631	PLD Zone 1	Funds for park development or acquisition in accordance with Parkland Dedication ordinance in Zone 1.

DESCRIPTION OF CAPITAL IMPROVEMENTS

Serial/ Project Number	Project Title	Project Description
872/867/0632	PLD Zone 2	Funds for park development or acquisition in accordance with Parkland Dedication ordinance in Zone 2. Funds have been distributed to Pioneer Farm, Little Walnut Creek and Springbrook for development of recreational facilities.
872/867/0633	PLD Zone 3	Funds for park development or acquisition in accordance with Parkland Dedication ordinance in Zone 3. Funds have been distributed to Dottie Jordan, Northwest District Park and Brentwood for development of recreational facilities.
872/867/0634	PLD Zone 4	Funds for park development or acquisition in accordance with Parkland Dedication ordinance in Zone 4. Funds have been distributed to Reed, Palma Plaza, Ramsey, and Pease for recreational development.
872/867/0635	PLD Zone 5	Funds for park development or acquisition in accordance with Parkland Dedication ordinance in Zone 5.
872/867/0636	PLD Zone 6	Funds for park development or acquisition in accordance with Parkland Dedication ordinance in Zone 6. Funds have been distributed to Walter E. Long and Alamo for recreational development.
872/867/0637	PLD Zone 7	Funds for park development or acquisition in accordance with Parkland Dedication ordinance in Zone 7. Funds have been designated for Grove park development.
872/867/0642	PLD Zone 8	Funds for park development or acquisition in accordance with Parkland Dedication ordinance in Zone 8. Funds have been designated to Longview, Davis Hill, Zilker School, Zilker Park, Red Bud Isle, and Common's Ford for development.
872/867/0638	PLD Zone 9	Funds for park development or acquisition in accordance with Parkland Dedication ordinance in Zone 9. Funds have been designated to Guerrero Park for development.
872/867/0651	PLD Zone 10	Funds for park development or acquisition in accordance with Parkland Dedication ordinance in Zone 10. Funds have been designated for park development of Langford Park.
823/867/0793	Rebekah Baines Johnson Park	Development of park for elderly and disabled, to include picnic tables and trails, to meet a federal commitment for land transfer to City.
811/867/0475	Recreation Center - Zone 10 (Dittmar)	Dittmar Park development to include volleyball, trails, and playscape.
821/867/0069	Reed Park Renovation (Pool)	Funds for Lifeguard stand.

# DESCRIPTION OF CAPITAL IMPROVEMENTS

Serial/ Project Number	Project Title	Project Description
89/86-18	Replacement Playground Equipment	Replace playground equipment previously removed from numerous neighborhood parks due to structural and safety problems.
811/867/0370	Research Blvd/Kramer Lane Acq.	Acquire parkland in highly urbanized North Austin.
823/867/5001	Roof Replacements - FY '91	Replacement of deteriorated and leaking roofs on existing recreational buildings throughout the park system using 1990-91 funding.
817/867/0350	Roof Replacements - Park Facilities	Replacement of deteriorated and leaking roofs on existing recreational buildings using 1989-90 funding.
823/867/0797	Sanchez School Park	Renovation of the park, landscaping improvements, construction of walk and entry pavilions into the park.
823/867/0812	Searight Park	Continued initial development of Searight Park, as specified in the Texas Parks and Wildlife Grant.
92/86-01	Septic Renov.- E.& W. Long	Permanent sewage treatment facilities to serve Emma Long and Walter Long Municipal Parks, as required by Health Department.
821/867/0070	Shipe Pool Renovation	Remaining funds for deck improvements, shade, and landscaping.
823/867/0799	Shoal Crk/Flood Rel Repair	Bank stabilization and flood repair of significant erosion problems between 5th and 10th Streets and Seider Springs Park north of 38th Street due to June 1987 flooding.
823/867/0001	Southwest Soccer Complex	Funds will reimburse developer for construction of soccer fields in southwest Austin.
811/867/0477	Spicewood Sprs Neigh Pk Devel	Improvements to include parking, trail access, picnicking, amenities, and signage.
92/86-03	St. John's Pool Conversion	Convert fill-and-draw pool to a recirculating system. Funds will be used as the City's 30% match for an Urban Parks and Recreation Recovery grant application.
89/86-20	Swimming Pool Chlorination Systems	Change pools from gas chlorination to liquid chlorination.
823/867/5005	Thorpe Ballfield	Construction of a new ballfield at Thorpe Field.
873/867/0810	Town Lake Bikeway	Complete construction of bikeway around Town Lake.
823/867/0031	Town Lake Redevelopment	Scope to include the replacement of trails, pedestrian bridges, renovation of Eilers playscape, development of West First Street area trails and walls, and numerous trailhead, kiosk and furniture installs according to the Townlake Design Manual.



DESCRIPTION OF CAPITAL IMPROVEMENTS

Serial/ Project Number	Project Title	Project Description
823/867/0880	Town Lake Renovation	Convert Town Lake Park irrigation system from City water to lake water; and to continue the retrofit of PARD parking lots to improve Town Lake water quality.
89/86-12	Trail and Bank Stabilization	Renovation and repair of trails and creek beds damaged by flooding and erosion along Boggy, Shoal, Blunn and Waller Creeks.
873/867/0811	Velodrome Design	Preliminary design development of velodrome for bicycle events.
873/867/0813	Veloway at Circle C	Grant supported development of 3.1 mile bicycle track. Project will also include neighborhood park facilities.
823/867/0883	Walnut Creek Metro Park	Expansion of park infrastructure for access to undeveloped south area of park.
89/86-25	Water Conservation	Installation of pumping equipment to retrofit existing Town Lake Park irrigation systems to allow cheaper irrigation with raw water drawn directly from Town Lake.
92/86-05	Water Plant Enclos.- E.L.Park	Improvement to Emma Long Metro Park to include enclosing water system to protect pipes from freezing.
811/867/0480	West Bouldin Creek Devel	Level I development of greenbelt along West Bouldin Creek.
811/867/0479	Williamson Ck Grblt Devel	Construction of trail, signage, and picnicking amenities.
811/867/0555	Williamson Ck Greenbelt Acq.	Acquire missing links in existing Williamson Creek Greenbelt in order to form a continuous system.
834/867/0595	Zachary Scott Theatre, Ph II	Phase II development to complete renovation of existing theatre.
821/867/0072	Zaragoza Pool Renovation	Funds to be used for deck improvements and additional site furniture.
823/867/0886	Zilker Park Renovation	Scope to include irrigation conversions to lake water, renovation of Pecan Grove picnic area, construction of Stratford Drive bus turnaround and playscape renovation.
823/867/0123	Zilker Prk Renovate Plyscape	Revenues from private donations for the replacement of heavily used playground equipment in Austin's major park.
811/867/0091	Zone 2 Land Acq. Undesignated	Acquire parkland in Northeast Austin.
811/867/0094	Zone 10 Land Acq.	Acquire parkland to serve park deficient Southeast Austin.



MEMORANDUM

TO: Manuel Mollinedo, Director, Parks and Recreation  
Department

FROM: Raul Calderon, Assistant City Attorney

DATE: March 6, 1991

SUBJECT: Amendment of Section 10-4-4 (park curfew ordinance)

The attached draft ordinance is being readied for presentation to Council. A previous draft was provided to your department for distribution and comment late last year. Carolyn Nelson relayed to me that no comments were received.

Once passage of the ordinance is accomplished, guidelines for park use and permits will be required. The drafting of the guidelines will be able to build on existing regulations but will need to go further in addressing particular needs and circumstances. I look forward to working with your staff.

*Raul Calderon*

Raúl Calderón  
Assistant City Attorney

cc Iris J. Jones  
Carolyn Nelson, PARD



## ORDINANCE NO. 91 - \_\_\_\_\_

AN ORDINANCE AMENDING CHAPTER 10-4 OF THE CODE OF THE CITY OF AUSTIN, 1981; ESTABLISHING HOURS OF OPERATION FOR PARKS AND OTHER RECREATIONAL FACILITIES; PROVIDING FOR PERMITTING REQUIREMENTS; ESTABLISHING PROCEDURES FOR IMPOUNDMENT OF MOTOR VEHICLES AND WATERCRAFT; WAIVING THE RULE REQUIRING THE READING OF ORDINANCES ON THREE SEPARATE DAYS; AND PROVIDING FOR AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. That Chapter 10-4, Code of the City of Austin, 1981 is amended by striking Section 10-4-4 in its entirety and substituting in lieu thereof a new Section 10-4-4:

Section 10-4-4 as follows:

*Auth to issue permits. Conditions for reservation*

(a) The Director of the Parks and Recreation Department is authorized to require and issue permits for the reservation and use of park areas and athletic or recreational facilities. Permits shall be conditioned as shall be reasonably necessary to avoid scheduling conflicts, traffic congestion, damage to park property and landscaping and to preserve the public and park user's health, safety and welfare. The Director shall be authorized to establish written guidelines for the use of parks and recreational facilities and for the issuance of permits.

*Establish Curfew*

(b) It shall be unlawful for any person to loiter, remain or be in any City park, athletic or recreational facility, greenbelt or in or upon the waters of Town Lake or Lake Walter E. Long between the hours of 10:00 p.m. and 5:00 a.m., except as provided in this section, which exceptions shall constitute an affirmative defense to violations of this section. The provisions of this section shall not apply to:

- Exceptions to curfew*
1. Persons whose presence is authorized by a City contract or agreement;
  2. Persons participating in or attending events, activities or programs previously approved or scheduled by the Parks and Recreation Department and remaining in the locale until the event, activity or program has concluded.
  3. Persons possessing a permit to fish or camp in those areas duly designated for such activities by the Director of the Parks and Recreation Department. The Director shall be authorized to require and issue permits for fishing and camping.
  4. Persons possessing a permit to use those areas duly designated for night-time use by the Director of the Parks and Recreation Department. The Director shall be authorized to require and issue permits therefore. The granting of such permit shall not constitute a waiver, exception or defense to any other applicable law or ordinance.

(c) Motor vehicles or watercraft found in City parks, athletic or recreational facilities, greenbelts or in or upon the waters of Town Lake or Walter E. Long between the hours of 10:00 p.m. and 5:00 a.m. shall be subject to removal and impoundment, provided, however, that this provision shall not apply to motor vehicles or watercraft in the possession of persons whose presence is allowed under subsections (b) 1., 2., 3., or 4. above. Any motor vehicle or watercraft which cannot be safely and promptly removed by a person possessing such motor vehicle or watercraft while in violation of subsection (b) above shall be impounded.



(d) A person who has had a motor vehicle or watercraft impounded under authority of subsection (c) above shall be entitled to notice and a hearing conducted in accordance with Sections 9-2-41 through 9-2-44 of the City Code. In the event that the identity of the owner or possessor of an impounded motor vehicle or watercraft is not known at the time of impoundment, the Director shall make a diligent effort to ascertain the owner and to provide notice and an opportunity for a hearing, which effort shall include publication in a newspaper of general circulation within 10 days of the impoundment if the identity of the owner cannot otherwise be ascertained.

(e) In the event the owner waives his right to a hearing, the City Manager shall dispose of impounded motor vehicles or watercraft in accordance with Sections 9-2-1 through 9-2-40 of the City Code, as applicable. For purposes of disposition, an unclaimed motor vehicle impounded under authority of this section shall be deemed an abandoned motor vehicle.

**PART 2.** The requirement imposed by Section 2-2-3 of the Austin City Code of 1981, that ordinances be read on three (3) separate days shall be, and is hereby waived by the affirmative vote of at least five (5) members of the City Council to pass this ordinance through more than one reading on a single vote.

**PART 3.** This ordinance shall become effective ten (10) days following the date of its passage, as provided by the Charter of the City of Austin.

PASSED AND APPROVED

\_\_\_\_\_, 1991

SECTION 9-2-41

\_\_\_\_\_  
Lee Cooke  
Mayor

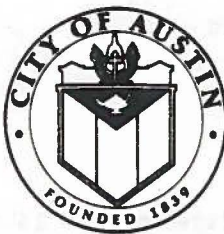
APPROVED:

\_\_\_\_\_  
Iris J. Jones  
City Attorney

ATTEST:

\_\_\_\_\_  
James E. Aldridge  
City Clerk

RC/lw



Value of Easements  
Perm. Easmt - \$35K  
Temp - 19K

Jim Clarno

# MEMORANDUM

w/ PARD condition

ADD- receive value  
equal to easement value

**TO:** Parks and Recreation Board  
**FROM:** Manuel A. Mollinedo, Director  
Parks and Recreation Department  
**DATE:** May 16, 1991  
**SUBJECT:** Town Lake Park, Request for Easements  
South Austin Relief Main, Phase 1

The Water and Wastewater Utility is proposing to construct the South Austin Relief Main between South First Street and Zilker Park. Phase 1, which will be constructed first, will commence at the intersection of South First Street and Riverside Drive and extend to Toomey Road adjacent to the new Zachary Scott Theater Center.

The Department of Public Works and Transportation is requesting approval of permanent sanitary sewer easements (1.783 acres) and temporary workspace easements (2.471 acres) for Phase 1 of the project. Phase 2 is anticipated to commence in late spring 1992, the necessary easements for this phase will be brought to the Board for consideration at a later date.

Phase 1 of the project is described in detail in the attached information packet and drawings. This project has been in the design phase for a number of years and has been presented to the Board for conceptual approval on a number of occasions during this time.

The alignments chosen, in coordination with Parks and Recreation Department staff, will cause the minimum disruption of parkland. I am satisfied that all feasible and prudent alternatives to this sanitary sewer easement have been considered and this is the most appropriate.

## Recommendation

I recommend approval of the following easements through part of Town Lake Park, to allow the construction of the South Austin Outfall Relief Main Phase 1, subject to the conditions listed below:

## Easements

- (a) Permanent Sanitary Sewer Easements - 8 Tracts, totaling 1.783 acres.

Parks and Recreation Board  
Town Lake Park, Easements  
May 17, 1991  
Page2

(b) Temporary Workspace Easements - 14 Tracts, totaling 2.471 acres.

Conditions

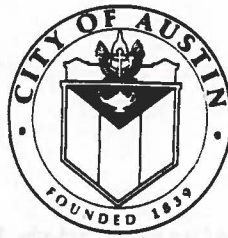
1. All construction within the park shall comply with the requirements of the "Construction in Parks Specifications" adopted by the Board , April 1990.
2. On completion of construction, restoration and revegetation shall be carried out to the specifications and satisfaction of the Parks and Recreation Department.
3. Tree replacement shall be 604 equivalent square inches. Replacement shall be in accordance with Section 2.3 "Tree Replacement" of the "Construction In Parks Specifications".
4. To ensure satisfactory revegetation and plant establishment, fiscal surety shall be provided, prior to construction, to the value of the estimated cost of restoration (including maintenance).
5. The Water and Wastewater Utility shall remove all above ground appurtenances (vent pipes, cabinets, access chambers etc.) associated with the sewer lines abandoned by this project immediately after the new lines are commissioned.
6. The temporary construction easements shall terminate on March 31, 1994.

If I can provide you with any additional information please let me know.

*Carolyn Nelson*

*for* Manuel A. Mollinedo, Director  
Parks and Recreation Department





MEMORANDUM

TO: Manuel A. Mollinedo, Director  
Parks and Recreation Department

FROM: Wm. R. Stockton, P.E., Director  
Department of Public Works and Transportation

DATE: April 9, 1991

SUBJECT: Request for Easements Across Parkland  
South Austin Outfall Relief Main, Phase I  
CIP No. 436 237 0395

The Department of Public Works and Transportation together with the Water and Wastewater Utility herewith requests easements for the construction and maintenance of the subject South Austin Outfall Relief Main, Phase I, CIP No. 436 237 0395. Attached are the following supporting documents:

- A. Information Packet
- B. Temporary Workspace Maps
- C. Metes and Bounds Field Note descriptions for the permanent easements (easement Field Note documents 4117R, 4118R, 4119R, 4120R, 4122R, 4218R3, 4236R and 4431).
- D. Metes and Bounds Field Note descriptions for the temporary workspace easements (easement Field Note documents 4211R, 4212R, 4213R, 4214R, 4215R, 4216R, 4217R, 4219R3, 4220R, 4226R, 4227R, 4228R2, 4231R, and 4425).

From the above mentioned documents, you will note permanent easements containing a total of approximately 1.783 acres of parkland is required. In addition, temporary workspace easements are required on both sides of the permanent easements and contain a total of approximately 2.471 acres of parkland.

Phase I of the South Austin Outfall Relief Main will construct approximately 2107 linear feet of 60-inch, 1049 linear feet of 54-inch, 385 linear feet of 48-inch, 70 linear feet of 4ft. X 3ft. box culvert, 290 linear of 36-inch, 326 linear feet of 30-inch, and 260 linear feet of 8-inch wastewater line. The majority of this work will be located in parkland. The design engineer is Espey, Huston & Associates, Inc.

Manuel A. Mollinedo, Director  
April 9, 1991  
Page 2

Public Works staff in coordination with Parks and Recreation Department staff have agreed that the proposed alignment for this wastewater interceptor is the most reasonable and prudent route. All site restoration will be completed in accordance with the Standard Specifications and Construction Standards of the City of Austin. All site restoration in parklands will also be completed in accordance with PARD's "Construction in Parks Standards."

Please prepare the necessary documentation for Park and Recreation Board's consideration of this matter. We are requesting that Park Board action be taken on April 23, 1991. If we can provide any additional information, please let us know.



Wm. R. Stockton, P.E., Director  
Department of Public Works and Transportation

WRS:JC:ah  
D4:2883

Attachments

cc: Randy J. Goss, P.E.  
A. Douglas Rademaker, P.E.  
James W. King, P.E.  
James R. Clarno, P.E.  
Joseph Morahan

## Information Packet

### SOUTH AUSTIN OUTFALL RELIEF MAIN

#### PHASE I

City of Austin

Water & Wastewater Utility

April 1991



## Introduction

The Water & Wastewater Utility is proposing to construct Phase I of the South Austin Outfall Relief Main to replace an existing wastewater interceptor. In conjunction with this project, the Utility is requesting authorization to build portions of the interceptor in parklands.

Phase I of the Relief Main will replace an existing 30-inch diameter interceptor generally located in West Riverside Drive which is now subject to surcharge conditions and has insufficient capacity for future flows. Funding for Phase I of this project was included in the 1984 bond program of the Utility.

## Project Need and Justification

The present South Austin Outfall consists of 6.4 miles of 24-inch to 54-inch pipe between the Govalle Wastewater Treatment Plant and Barton Creek along the south bank of Town Lake. In addition to the gravity wastewater interceptor, three major lift stations and force mains are located in the outfall collection system. These are shown on Figure 1. The lift stations are Montopolis, Barton Creek and Zilker Lift Stations. The present service area of the outfall (by gravity flow) includes approximately 9,022 acres of land located between Town Lake and Ben White Boulevard, bounded on the east by US 183 and on the west by Barton Creek. Additional developed land located in the Barton Creek and Eanes Creek watersheds are also tributary to the system by pumping. Wastewater flows are also pumped into the outfall collection system from several other adjoining areas.

The engineering firm of Espey, Huston & Associates (EHA) was selected to evaluate the capacity of the South Austin Outfall system at existing and projected future flow conditions, and to perform the engineering for improvements necessary to serve this wastewater flow. The EHA report considered a 50 year study planning period, to the year 2035, and evaluated capacity problems at 10-year intervals. Sections of the outfall found to be currently overloaded were the 30-inch segment in West Riverside Drive and the 24-inch segment receiving discharge from the Barton Creek and Zilker Park lift stations. The Barton Creek Lift Station was originally completed in 1977 and was upgraded in 1984. The lift station is in good condition, however it does not have a dedicated back-up power feed. The Zilker Park Lift Station was constructed in 1951. It is in fair condition and does not have a back-up control system nor a dedicated back-up power feed. The report recommended the replacement of the wastewater interceptor from South First Street to the Barton Creek Lift Station and the abandonment of both the Barton Creek and the Zilker Park Lift Stations which were fully committed at the time of the report.



On July 23, 1987, the City Council adopted a resolution to approve the installation of the South Austin Outfall subject to the following conditions:

1. That the South Austin Outfall Relief Main (Phase II) shall only serve Terrace PUD, the Loop 360 Corridor, the Woods of Westlake, Eanes School and Lost Creek (if annexed to the City), in addition to the existing service area;
2. That the South Austin Outfall Relief Main (Phase II) shall be constructed with "state of the art" technology and materials, and shall be sized to accommodate only the service area set out in No. 1 hereinabove; and
3. That this approval is not an approval to serving the entire Barton Creek Watershed with centralized wastewater systems.

The resolution reduced the service area and ultimate flow from that originally defined in the EHA report, but does not affect the original need and justification for the project.

#### Alternatives to the Use of Parkland

The EHA report evaluated five alternatives for the proposed relief main, two of which would provide service by gravity and three required the construction and operation of a permanent lift station in Zilker Park. Environmental, recreational and archaeological impacts were considered as well as the construction and operation costs of the various alternatives. PARD staff was consulted during the preparation of the report and during the selection of the recommended alternative.

Each of the alternatives required the use of parklands because the existing wastewater main and lift stations to be intercepted are located in parkland. Elevation conflicts with existing storm sewers and drainage channels also forced sections of the relief main onto parkland alignments. The recommended alternative was selected in part to minimize use of and impacts to parklands.

#### Project Description and Schedule

The proposed South Austin Outfall Relief Main project is divided into two phases, Phase I and Phase II. Figure 2 shows the location of Phases I and II of the proposed South Austin Outfall Relief Main.

Phase I, the downstream segment, begins at the intersection of West Riverside Drive and South First Street and terminates just west of the intersection of Toomey Road and Josephine Street. This Phase will consist of 4500 linear feet of interceptor and has an anticipated construction cost of \$2,000,000. It is scheduled for bidding in late summer and will take approximately 10 months to complete.

Phase II, the upstream segment, begins just west of the intersection of Toomey Road and Josephine Street and terminates at the existing Barton Creek Interceptor. This Phase will consist of 4500 linear feet of interceptor and has an anticipated construction cost of \$2,500,000. It is scheduled for bidding in the Spring of 1992 and will take approximately 12 months to complete.

Each phase also includes several lateral sewers to divert flows now being discharged into the existing wastewater interceptor to the new Outfall Relief Main. Phase I also includes 600 linear feet of wastewater interceptor to relieve a deteriorated and overloaded section of the West Bouldin Creek Interceptor.

#### Short Term Effects of Construction

Short term effects during construction will be minor. The proposed sequence of construction is intended to reduce as much as possible the interference with park functions and was prepared in conjunction with a schedule of activities furnished by PARD staff.

Most of the construction activities will be conducted within the proposed permanent easements. This includes the trenching, pipe installation and backfilling operations. Much of this work has been designed to occur within or adjacent to existing streets or parking areas. Parkland used for recreation that will be affected by Phase I include Disch field, the Butler Put-N-Pitch Golf Course and the little league field just south of the PARD office. The project scheduling will minimize the recreational impact in these areas. Ground disturbance in this area will include preconstruction clearing, trenching, temporary spoil and material storage, vehicle tracking and soil compaction. A traffic plan is included to reroute traffic around the construction areas.

The adjacent temporary construction easements will be used primarily for equipment and vehicle access. Ground disturbance in this area will generally be limited to vehicle tracking and soil compaction.

#### Long Term Effects of Construction

The only long term effect on the parkland due to construction and operation of the wastewater interceptor will be the restriction on building structures or similar improvements within the permanent easements. However, since PARD plans to continue to maintain these areas as parkland, this impact is negligible.



### Restoration Plan

All disturbed street, parking areas, sidewalks, curbs, etc. will be restored to a condition equal to or better than that existing prior to construction. All such restoration will be completed in accordance with the Standard Specifications and Construction Standards of the City of Austin.

All disturbed grassed areas will likewise be restored and revegetated to a condition equal to or better than that existing prior to construction. All such restoration in parklands will be completed in accordance with PARD's "Construction in Parks Specifications."

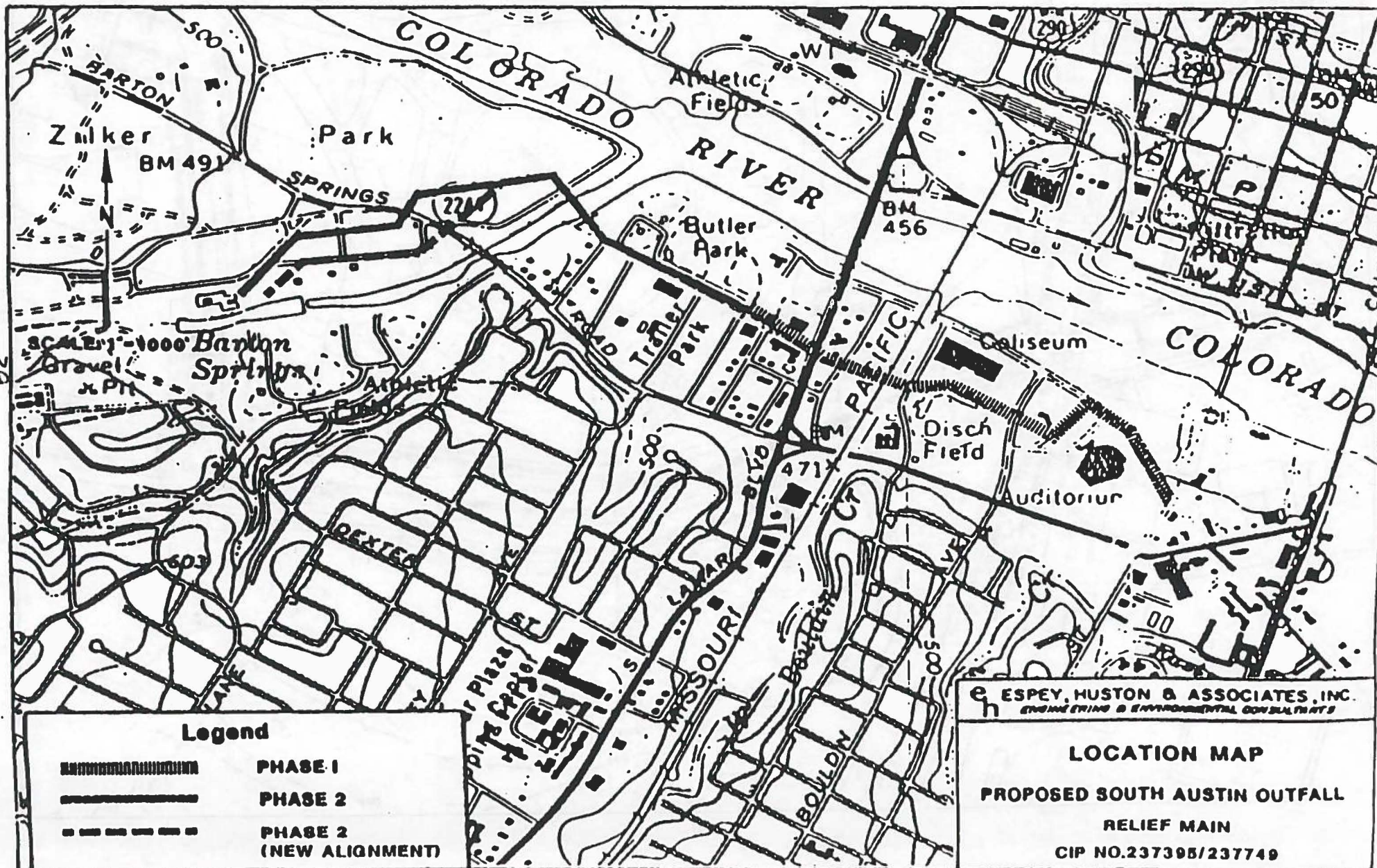
A detailed tree survey and tree evaluation were performed by the engineer which determined that a total equivalent of 604 square inches of tree replacement will be required in parklands. The project will include replacement planting or payment in accordance with PARD's "Construction in Parks Specifications."

As with all City construction projects, the Contractor will have to provide a one year warranty on his work including such restoration, revegetation, and tree replacement.

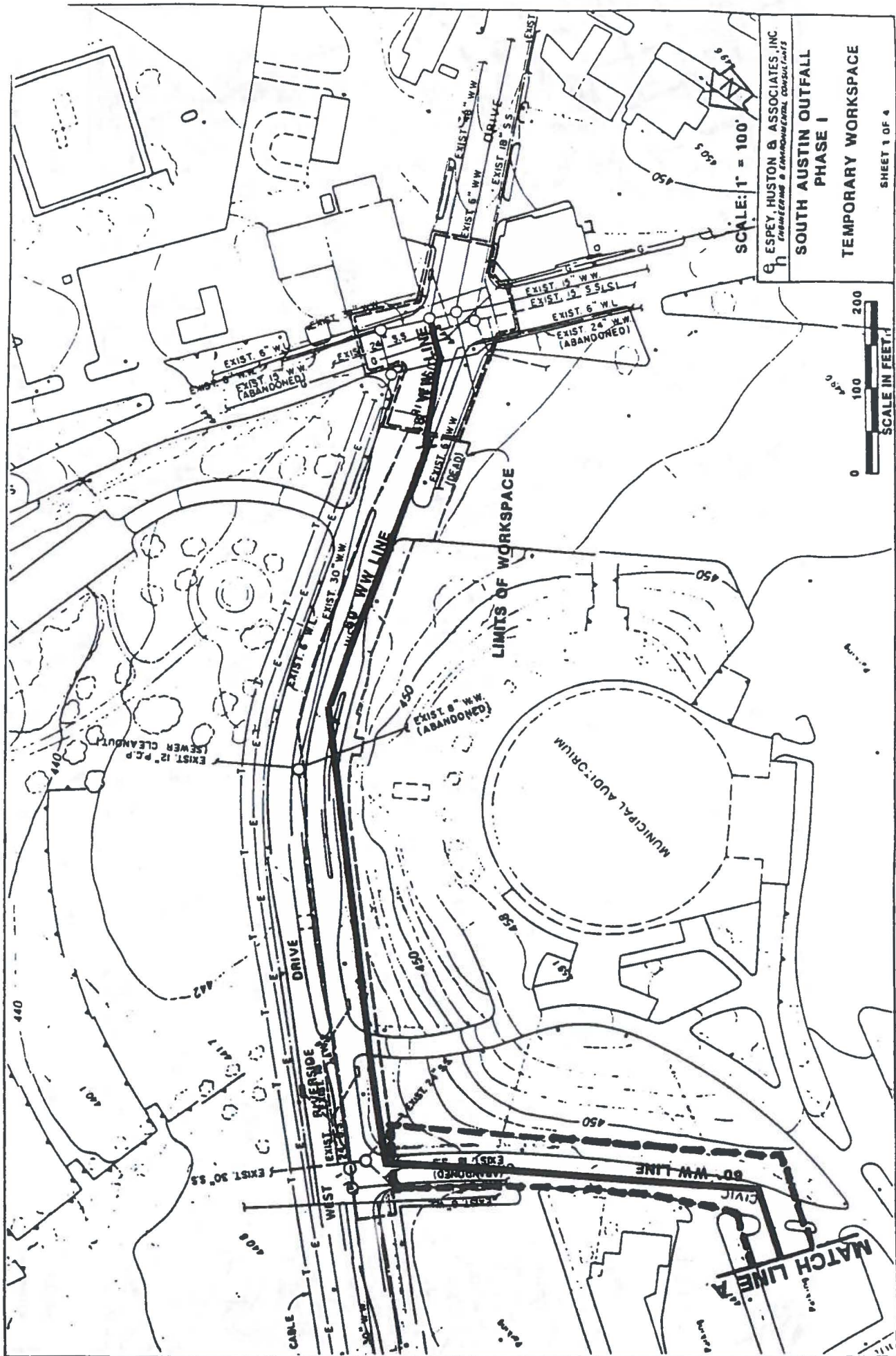












SCALE: 1" = 100'

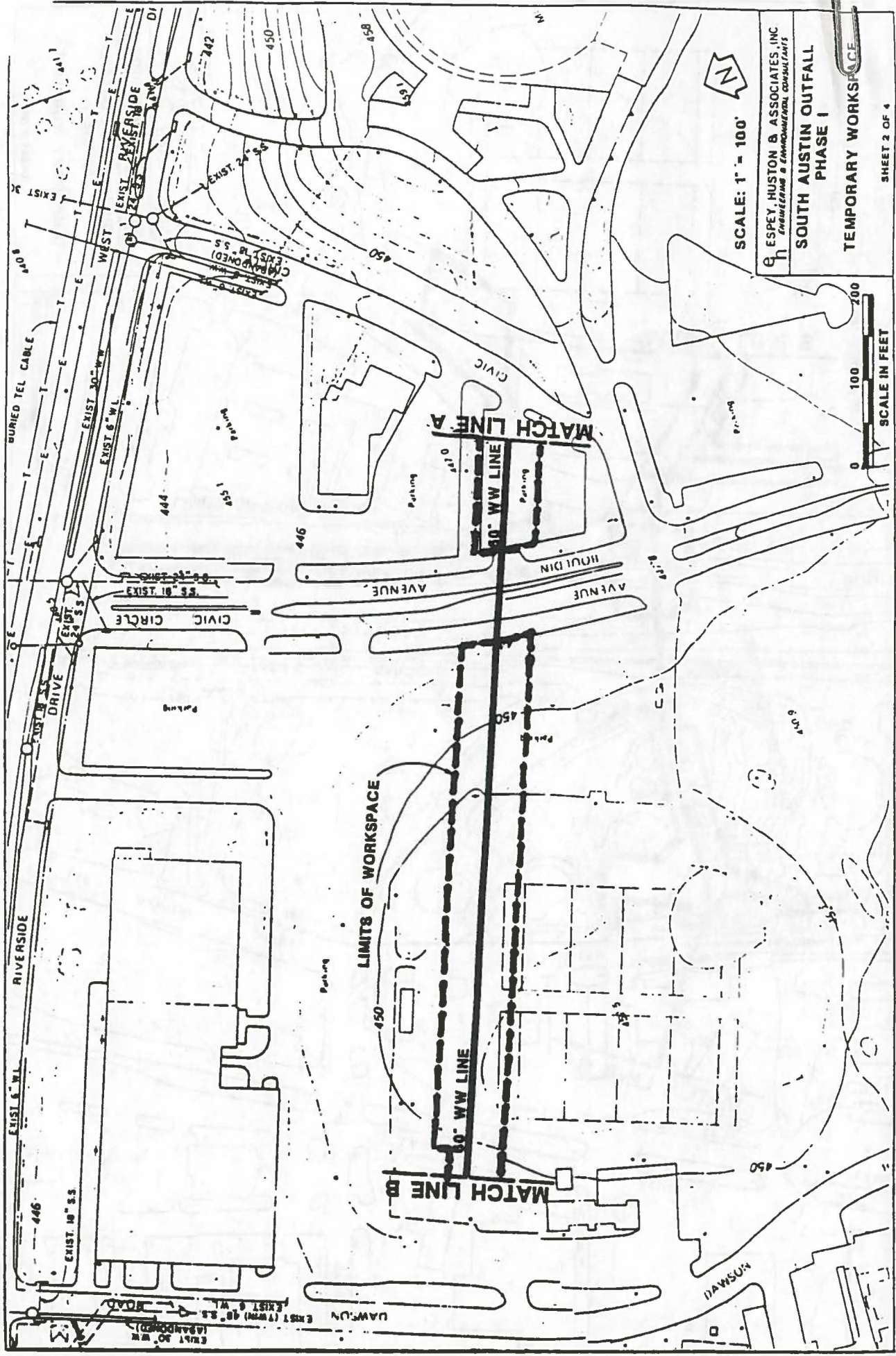
ESPEY, HUSTON & ASSOCIATES, INC.  
ENGINEERING & ENVIRONMENTAL CONSULTANTS

**SOUTH AUSTIN OUTFALL  
PHASE I**

**TEMPORARY WORKSPACE**

SHEET 1 OF 4





SCALE: 1" = 100'

E ESPEY, HUSTON & ASSOCIATES, INC.  
ENGINEERING & ENVIRONMENTAL CONSULTANTS

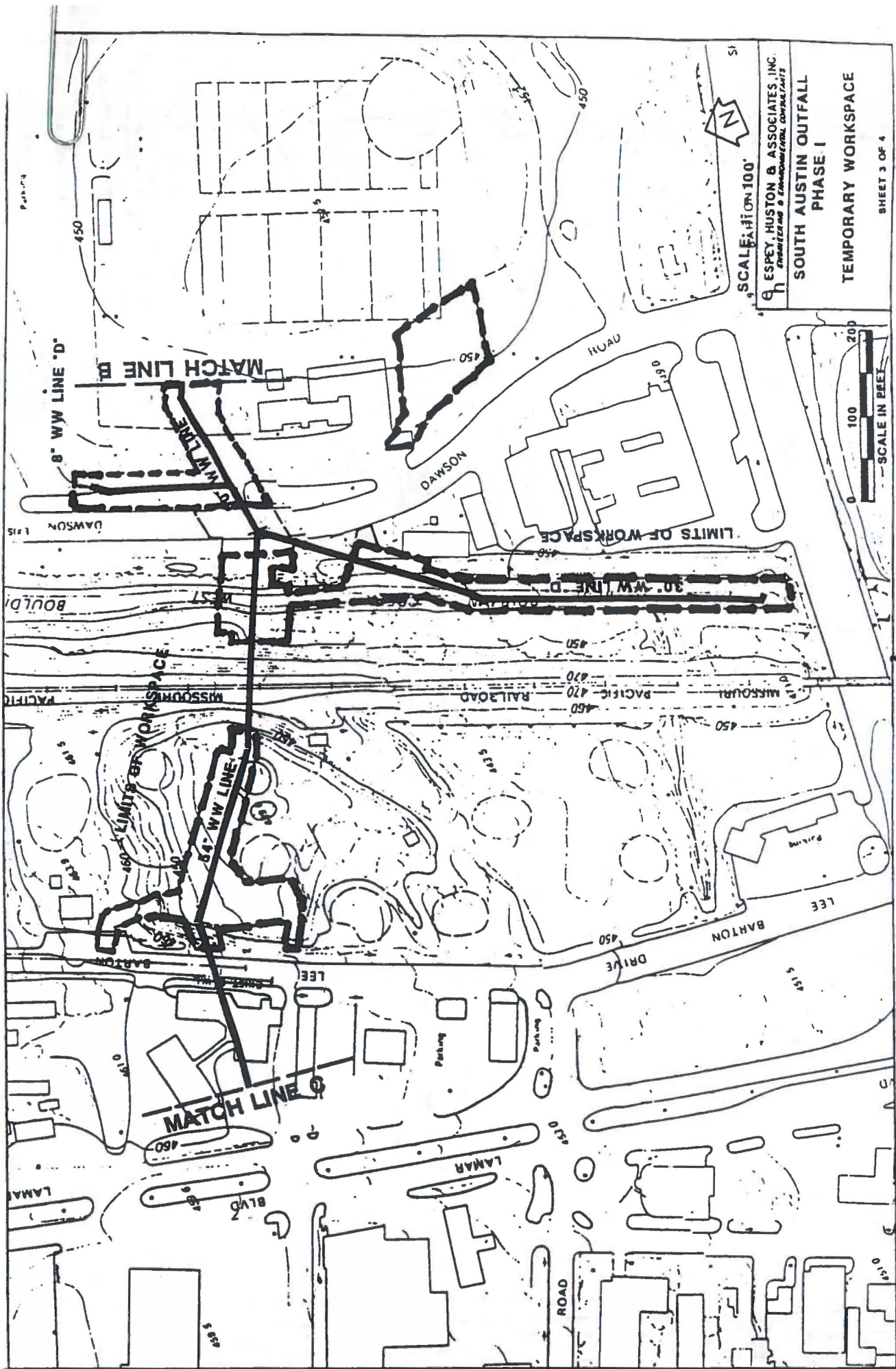
**SOUTH AUSTIN OUTFALL  
PHASE I**

**TEMPORARY WORKSPACE**

SHEET 2 OF 4

SCALE IN FEET





SCALE: 1" = 100'

ESPEY, HUSTON & ASSOCIATES, INC.  
ENGINEERS & ENVIRONMENTAL CONSULTANTS

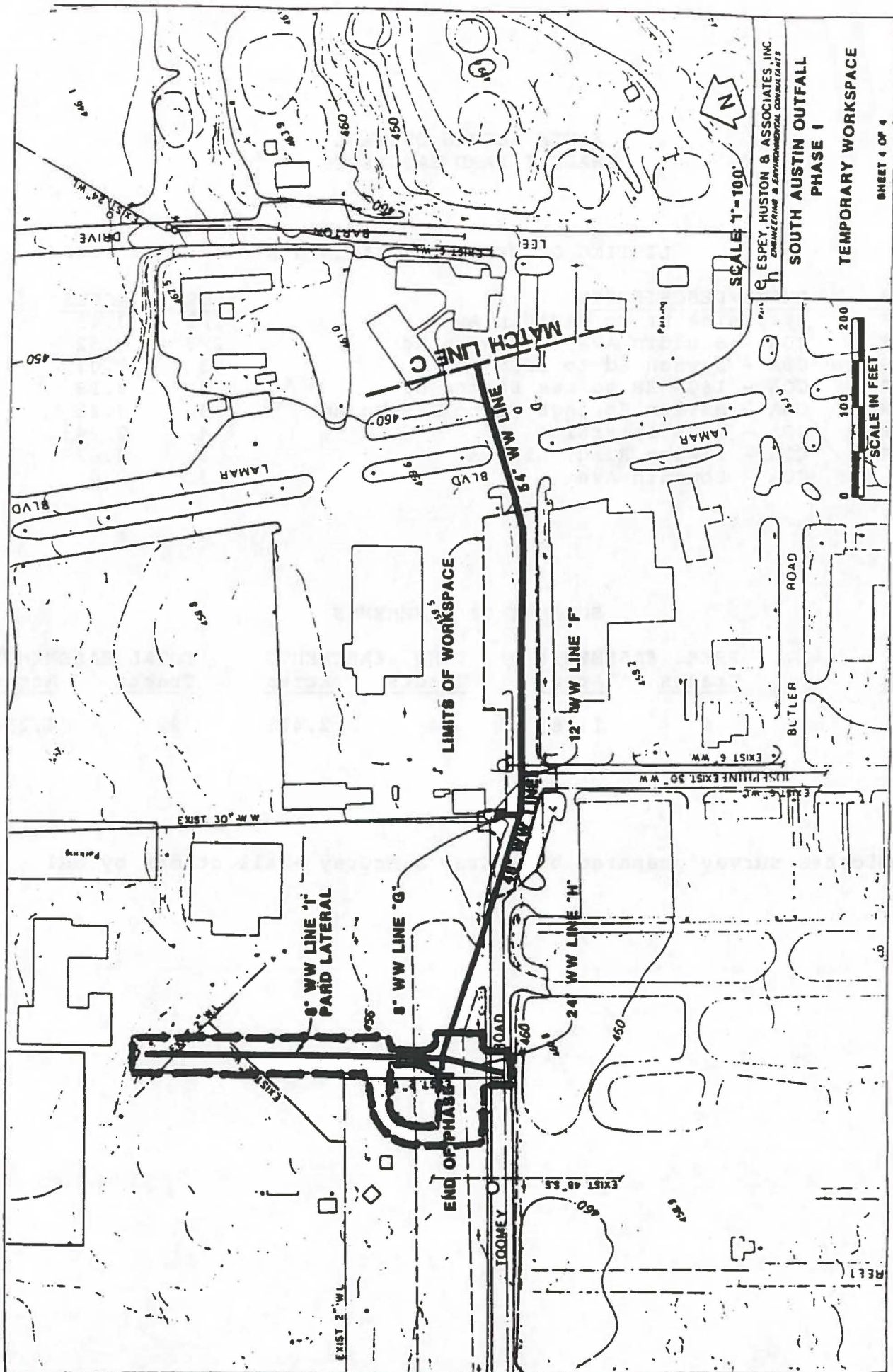
**SOUTH AUSTIN OUTFALL  
PHASE I**

**TEMPORARY WORKSPACE**

SHEET 3 OF 4







E. ESPEY, HUSTON & ASSOCIATES, INC.  
ENGINEERS & ENVIRONMENTAL CONSULTANTS

**SOUTH AUSTIN OUTFALL  
PHASE I**

**TEMPORARY WORKSPACE**

SHEET 4 OF 4

SCALE: 1"=100'



SOUTH AUSTIN OUTFALL  
PHASE I PARD EASEMENTS

LISTING OF PERMANENT EASEMENTS

<u>FN #</u>	<u>OWNER/DESCRIPTION</u>	<u>SHEET</u>	<u>ACRES</u>
4217R	Riverside Dr to Bouldin Ave	1/2	0.43
4118R	COA - Bouldin Ave to Dawson Rd	2/3	0.52
4119R	COA - Dawson Rd to I&GN RR	3	0.07
4120R	COA - I&GN RR to Lee Barton Dr	3	0.18
4122R	COA - Barton Springs Rd to Dawson Rd	3	0.25
4218R3	COA - PARD lateral *	4	0.243
4236R	COA - Dawson Road, Line A	3	0.02
4431	COA - Bouldin Ave	3	0.07

SUMMARY OF EASEMENTS

<u>OWNER</u>	<u>PERM. EASEMENTS</u>		<u>TEMP. EASEMENTS</u>		<u>TOTAL EASEMENTS</u>	
	<u>Tracts</u>	<u>Acres</u>	<u>Tracts</u>	<u>Acres</u>	<u>Tracts</u>	<u>Acres</u>
COA	8	1.783	14	2.471	22	4.254

\* indicates survey prepared by McGray & McGray - all others by SRI

SOUTH AUSTIN OUTFALL  
PHASE I PARD EASEMENTS

LISTING OF TEMPORARY WORKSPACE EASEMENTS

<u>FN #</u>	<u>OWNER/DESCRIPTION</u>	<u>SHEET</u>	<u>ACRES</u>
4211R	COA - Riverside Dr to Bouldin Ave	1/2	0.38
4212R	COA - Riverside Dr to Bouldin Ave	1/2	0.15
4213R	COA - Bouldin Ave to Dawson Rd	2/3	0.41
4214R	COA - Bouldin Ave to Dawson Rd	2/3	0.41
4215R	COA - Dawson Rd to I&GN RR	3	0.05
4216R	COA - Dawson Rd to I&GN RR	3	0.14
4217R	COA - Riverside Dr	1	0.03
4219R3	COA - PARD lateral *	4	0.241
4220R	COA - Riverside Dr Manhole	1	(202 SF)
4226R	COA - I&GN RR to Lee Barton Dr	3	0.12
4227R	COA - I&GN RR to Lee Barton Dr	3	0.13
4228R2	COA - Barton Springs Rd to I&GN RR	3	0.12
4231R	COA - Dawson Road	3	0.02
4425	COA - Temporary Working Space Area	3	0.27

SUMMARY OF EASEMENTS

<u>OWNER</u>	<u>PERM. EASEMENTS</u>		<u>TEMP. EASEMENTS</u>		<u>TOTAL EASEMENTS</u>	
	<u>Tracts</u>	<u>Acres</u>	<u>Tracts</u>	<u>Acres</u>	<u>Tracts</u>	<u>Acres</u>
COA	8	1.783	14	2.471	22	4.254

\* survey prepared by McGray & McGray - all others by SRI





*Strongly worded letter  
to Lydick that deck  
wasnt built as  
approved*

MEMORANDUM

TO: Parks and Recreation Board

FROM: Manuel A. Mollinedo, Director  
Parks and Recreation Department

DATE:

SUBJECT: Shoreline Development at 3711 Westlake Drive

The Board at their meeting held on January 28, 1991 considered and approved a request from Mr. Henry Lydick to repair the existing rock retaining wall and construct a wooden deck 3' wide and 85' long on top of the deck.

The Department of Planning and Development carried out an inspection during construction and discovered that the deck construction differed from the approved design. Instead of being 3' wide as originally proposed the deck varied in width from almost 7' to 9', with a minimum of 4' and a maximum of 6' extending into the water.

The project was exempt from the 20% rule as the subdivision was recorded and platted prior to 1976, and was also exempt from the requirements of a site plan.

The Department of Planning and Development has requested further consideration by the Board since the construction is in violation of the Board's approval. If the request were submitted as constructed, it would meet the necessary provisions of the City Code and would probably have been approved.

**Recommendation**

I recommend that the revised construction be approved since it meets all the requirements of the City Code. However, I would recommend that Mr. Lydick be sent a letter expressing concern that the project was not constructed in accordance with the original request approved by the Board

If I can provide you with any additional information, please contact me.

*Carolyn Nelson*

*for* Manuel A. Mollinedo, Director  
Parks and Recreation Department

MM:PM



*Approval per site plan*

MEMORANDUM

TO: Parks and Recreation Board

FROM: Manuel A. Mollinedo, Director  
Parks and Recreation Department

DATE:

SUBJECT: Construction of a single-slip boat dock, at 2203 Big Horn Trail  
File # SP-91-0114DS

A request has been received from Karen Whatley, to construct a single-slip boat dock with deck over, at 2203 Big Horn Trail.

Attached are details of the project and the review comments from the Parks and Recreation Department staff.

The original plans submitted indicated steps being constructed within the 10' side property line set back. The plans also indicated that the proposed stacked limestone retaining wall would not be continuous in front of an existing Cottonwood tree. This gap in the retaining wall would create erosion around the tree.

The applicant was notified of these concerns and has revised the plans to eliminate construction within the 10' setback and to continue the retaining wall in front of the tree with dry stacked limestone to eliminate the erosion problem.

The site plans have been approved by the Planning and Development Department, meeting the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments).

**Recommendation**

I recommend approval of the request to construct a single-slip boat dock with deck over at 2203 Big Horn Drive, in accordance with the approved Site Plan # SP-91-0114DS.

If I can provide you with any additional information, please contact me.

*for Carolyn Nelson*  
Manuel A. Mollinedo, Director  
Parks and Recreation Department

TO: COMMENT DUE DATE: 8-MAY-1991  
 FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT  
 SUBJECT: DEVELOPMENT PERMIT ONLY SP-91-0114DS

PROJECT: WHATLEY BOAT DOCK

2203 BIG HORN DR

CASE MANAGER: OSKOUIPOUR, JAVAD 499-2639

APPLICATION DATE: 30-APR-1991

ZIP: 78734 FULL PURPOSE  
 WATERSHED: Lake Austin RURAL WATER SUPPLY

OWNER: WHATLEY, KAREN (512)261-4027  
 2201 LAKEWAY BLVD. #34 AUSTIN, TX 78734  
 CONTACT: KAREN WHATLEY  
 ENGIN: PENROSE & ASSOCIATES (512)454-2773  
 5020 BURNET ROAD AUSTIN, TX 78756  
 CONTACT: BOB PENROSE  
 AGENT: WHATLEY, KAREN (512)261-4027  
 2201 LAKEWAY BLVD. #34 AUSTIN, TX 78734  
 CONTACT: KAREN WHATLEY

SITE PLAN AREA: 0.000 ACRES ( 0 SQ FT)  
 UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:  
 EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
0.000/	0	BOATDOCK

RELATED CASE NUMBERS (IF ANY):

OTHER PROVISIONS:  
 QUALIFIES AS A SMALL PROJECT  
 TIA IS NOT REQUIRED  
 FEE RECEIPT #: 915993

SUBD NAME: APACHE SHORES, SECTION 4  
 BLOCK/LOT: LOT 680-A  
 PLAT BOOK/PAGE: 52 PAGE 18

VARIANCES/WAIVERS, BONUSES:

\*\* REVIEWERS - PLEASE USE NEW COMMENTS TRACKING SYSTEM \*\*



REVIEW COMMENTS

TO: SITE PLAN PROCESSING

CASE MANAGER: Oskouipour, Javad

FROM: FILE NUM: SP-91-0114DS

PROJECT NAME: WHATLEY BOAT DOCK

LOCATION: 2203 BIG HORN DR

DUE DATE: 8-MAY-1991

REVIEWER: MARSH, PETER

DATE: 8-MAY-1991

PD 1. The 10' wide side property line setback should include the access stairs to the lower level of the boat dock.

PD 2. To provide adequate shoreline protection it is recommended that the dry stack retaining wall be extended in front of and around the cottonwood tree. The wall should remain dry stack throughout and NOT be mortared.

PD 3. This request has not yet been considered by the Parks and Recreation Board. It is anticipated it will be heard at their meeting scheduled for May 28, 1991.

April 26, 1991

City of Austin Parks and Recreation Board  
301 West 2nd Street  
Austin, Texas

Attention: Director of Park & Recreation Department

Dear Mr. Director,

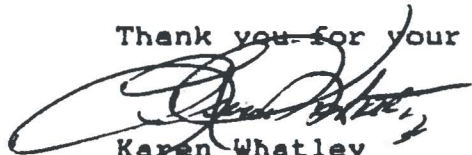
I am requesting approval of the attached plans. The plans are for the construction of a Boat Dock and Retaining Wall for my single-family resident.

My legal description is Plat Book 52, Page 18, Lot 680-A, out of Apache Shores section 4, Travis County, Texas. My address is 2203 Big Horn Drive, Austin, Texas.

The Construction will consist of a 15'-0" wide boat dock and a limestone dry stack retaining wall. The retaining wall will start at the existing shoreline. The wall will not extend into the waterway and will not reclaim any land that has eroded.

This project is located in the Lake Austin Watershed area. My future resident is being designed and will be built after the boat dock and retaining wall is completed.

Thank you for your assistance,



Karen Whatley  
2201 Lakeway Blvd. #34  
Austin, Texas 78734  
(512) 261-4027



*Approved subject  
to site plan being  
approved by staff*

# MEMORANDUM

TO: Parks and Recreation Board

FROM: Manuel A. Mollinedo, Director  
Parks and Recreation Department

DATE:

SUBJECT: Construction of a single-slip boat dock and approximately 530 feet of concrete block retaining wall, at 12605 River Bend.  
File # SP-91-0108D

A request has been received from Lee Robinson, to construct a single-slip boat dock with deck over and approximately 530 feet of concrete block retaining wall, at 12605 River Bend.

I understand from the Department of Planning and Development that construction on this project started without the necessary permits and approvals and that continued construction has been "red-tagged" on two occasions.

Attached are details of the project and the review comments from the Parks and Recreation Department staff.

The plans for the boat dock specify Creosote treated timber for the pilings in the water; only CCA treated or natural decay resistant timber, or inert materials are permitted as pilings in the water. It is not known whether the creosote pilings have been installed.

Details of the concrete block retaining wall have not been provided. Section 13-2-792(e) of the City Code prohibits straight vertical retaining walls on the main body of the lake; retaining walls along the Lake Austin frontage should be designed to reduce return wave action.

The letter of request addressed to the Board refers to construction at a different address than on the site plan and also refers to construction commencing on December 1, 1984.



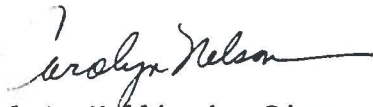
Parks and Recreation Board  
Boat Dock, 12605 River Bend

Page2

**Recommendation**

I recommend denial of the request to construct a single-slip boat dock and concrete block retaining wall at 12605 River Bend, until the items listed in the review comments have been satisfactorily addressed.

If I can provide you with any additional information, please contact me.

A handwritten signature in dark ink, appearing to read "Manuel A. Mollinedo", with a long horizontal flourish extending to the right.

Manuel A. Mollinedo, Director  
Parks and Recreation Department

MM:PM

23-APR-1991

53

REVIEW COMMENTS

TO: SITE PLAN PROCESSING

CASE MANAGER: Newman, Mike

FROM: FILE NUM: SP-91-0108D

PROJECT NAME: BOAT DOCK & RETAINING WALL

LOCATION: 12605 RIVER BEND

DUE DATE: 8-MAY-1991

REVIEWER: MARSH, PETER

DATE: 8-MAY-1991

PD 1. The boat dock plans specify Creosote treated timber, only CCA treated timber, natural decay resistant timber or inert materials are permitted as pilings in the water.

PD 2. The existing dock to be replaced must be completely demolished and removed prior to construction.

PD 3. Construction details of the CMU retaining wall should be provided.

PD 4. Section 13-2-792(e) of the City Code prohibits straight vertical retaining walls on the main body of the lake. The retaining wall along Lake Austin frontage should be designed to reduce and dissipate return wave action.

PD 5. Bearings 16, 17, and 18 of the retaining wall appear to be aligned around a tree, what is the reason for this?

PD 6. The letter of request addressed to the Parks and Recreation Board refers to construction at 12425 riverbend, Lot 6 Freund Sleepy Hollow, with construction scheduled to commence December 1, 1984. Is this correct? If not a new letter of request for the Board to consider 12605 Riverbend is required.

PD 7. The Parks and Recreation Board have not yet considered this request. It is anticipated that it will be heard at their meeting scheduled for May 28, 1991.



TO: Parks and Recreation Board

FROM: Blake R. Robinson

RE: Request to build a boat dock on Lake Austin, at 12425 Riverbend, Lot #6, in Freund Sleepy Hollow Lake Austin Subdivision. Construction would commence on December 1, 1984.

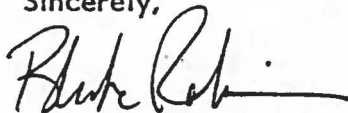
This property of approximately 300' of frontage on Lake Austin, is approximately 130' from the eastern boundry and 170' from the western boundry. See attached location map for pinpoint placement of boundry lines and location.

There shall be no shoreline changes, and the only excavation would be to set the 16 pilings for the structure. The dock would extend into the lake approximately 29 feet.

The construction plans on a ¼" to 1 inch scale line attached, and include all dimensions and sizes of the structure. The next attached page is a materials take-off to be used for construction of the dock. The electrical shall include two photo-electric cell activated lights with two amber light bulbs in weather proof light holders and junction boxes used at the location, all electric wiring to be buried in conduit 24" deep, and all wiring on the dock in metalized conduit.

Should you have any questions, please call me at 1-736-2224.  
Thank you.

Sincerely,



Blake R. Robinson

ULMANN & HARRIS, INC.  
CONSULTING ENGINEERS

April 19, 1991

City of Austin  
Department of Planning and Development  
301 W 2nd St.  
Austin, Texas

RE: Summary Letter for Boat Dock and CMU Wall, 12605 River Bend Rd.

Dear Sir:

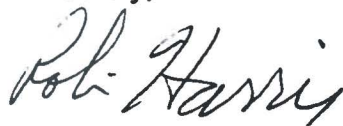
The project is located off River Bend Road which takes access from Quinian Park Road. The project also abutts Lake Austin and therefore is in the Lake Austin watershed. The project location can be described as lot 1 and 2 of the Robinson Addition, a recorded subdivision in Travis County in plat book 89 pages 213 & 214.

The project consist of a proposed dock to be situated on lot 1 and the field location of a cmu wall that traverses through lot 1 and along the south boundary of lot 2 within Lake Austin. The proposed boat dock will be replacing an existing boat dock on Lot 1. The purpose of the project is to obtain the site development permit for the boat dock and cmu wall, and to obtain the approval of the location of the cmu wall by the parks department. The project consist of an approximately 430 sqft. boat dock and approximately 530 linear feet of cmu wall. The wall hieght is approximately from 0 to 3 feet.

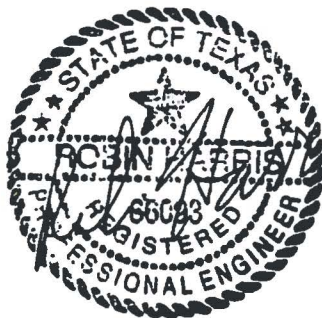
Since an existing boat dock is being replaced, there will not be a significant increase in runoff from the site. Also, the cmu wall will reduce the degree off erosion that takes place along the bank of the lake.

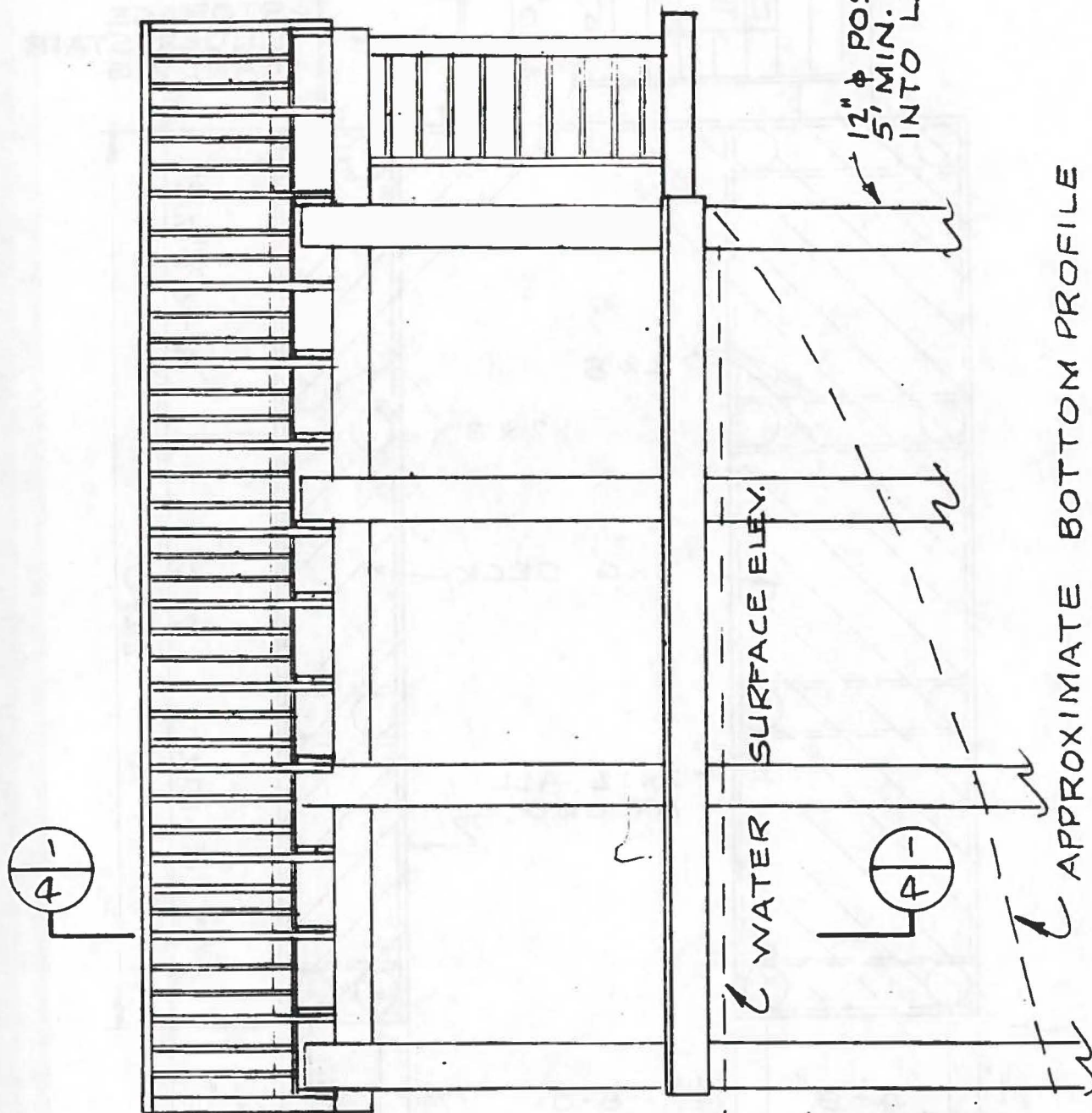
If there is any question please feel free to call Troy Ulmann or me at 328-2186.

Sincerely,



Robin Harris P.E.





ELEVATION

SH 1 OF 7

11-6-84

SCALE  $1/4" = 1'0$

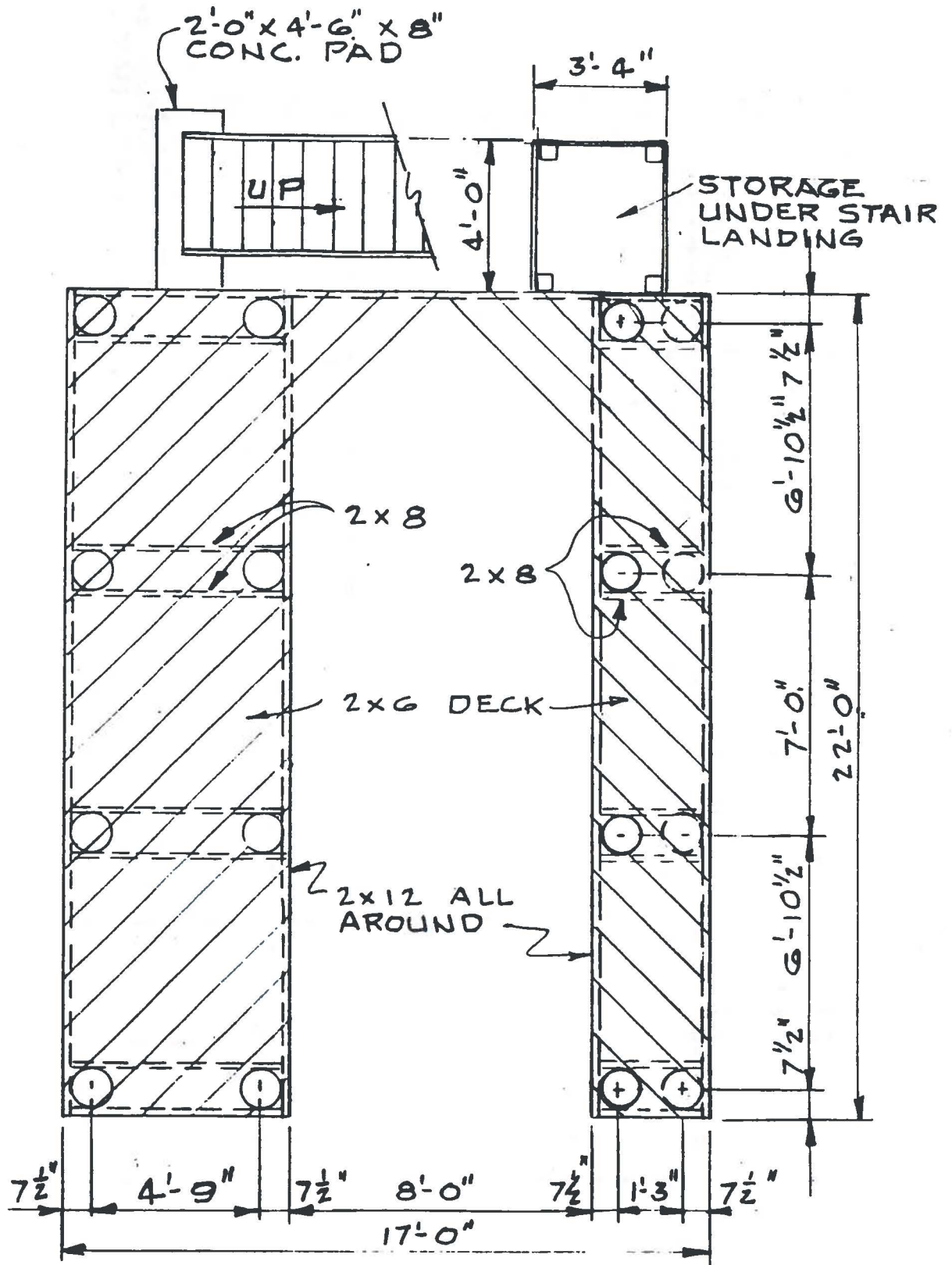
# BOAT DOCK, LAKE AUSTIN

FOR BLAKE ROBINSON

DRAWN BY RONNFELDT ENGINEERING CONSULTANTS, INC.

4438 CENTERVIEW SUITE 311 SAN ANTONIO, TEXAS (512) 734 8755





PLAN - LOWER DECK

SH 2 OF 7

11-6-84

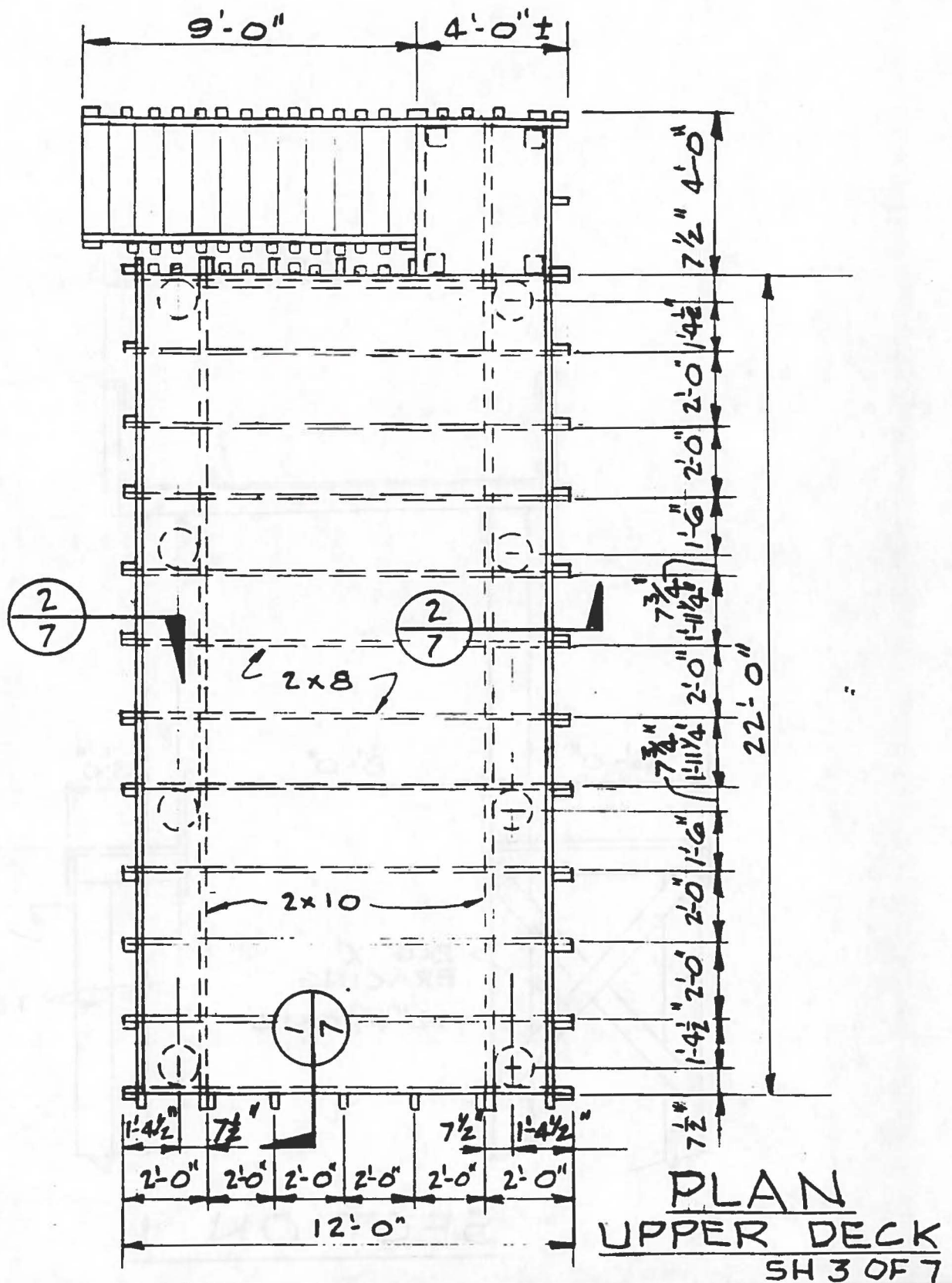
SCALE 1/4" = 1'-0"

# BOAT DOCK, LAKE AUSTIN

FOR BLAKE ROBINSON

DRAWN BY RONNFELDT ENGINEERING CONSULTANTS, INC.

4438 CENTERVIEW SUITE 311 SAN ANTONIO, TEXAS (512) 734 8755



11-6-84

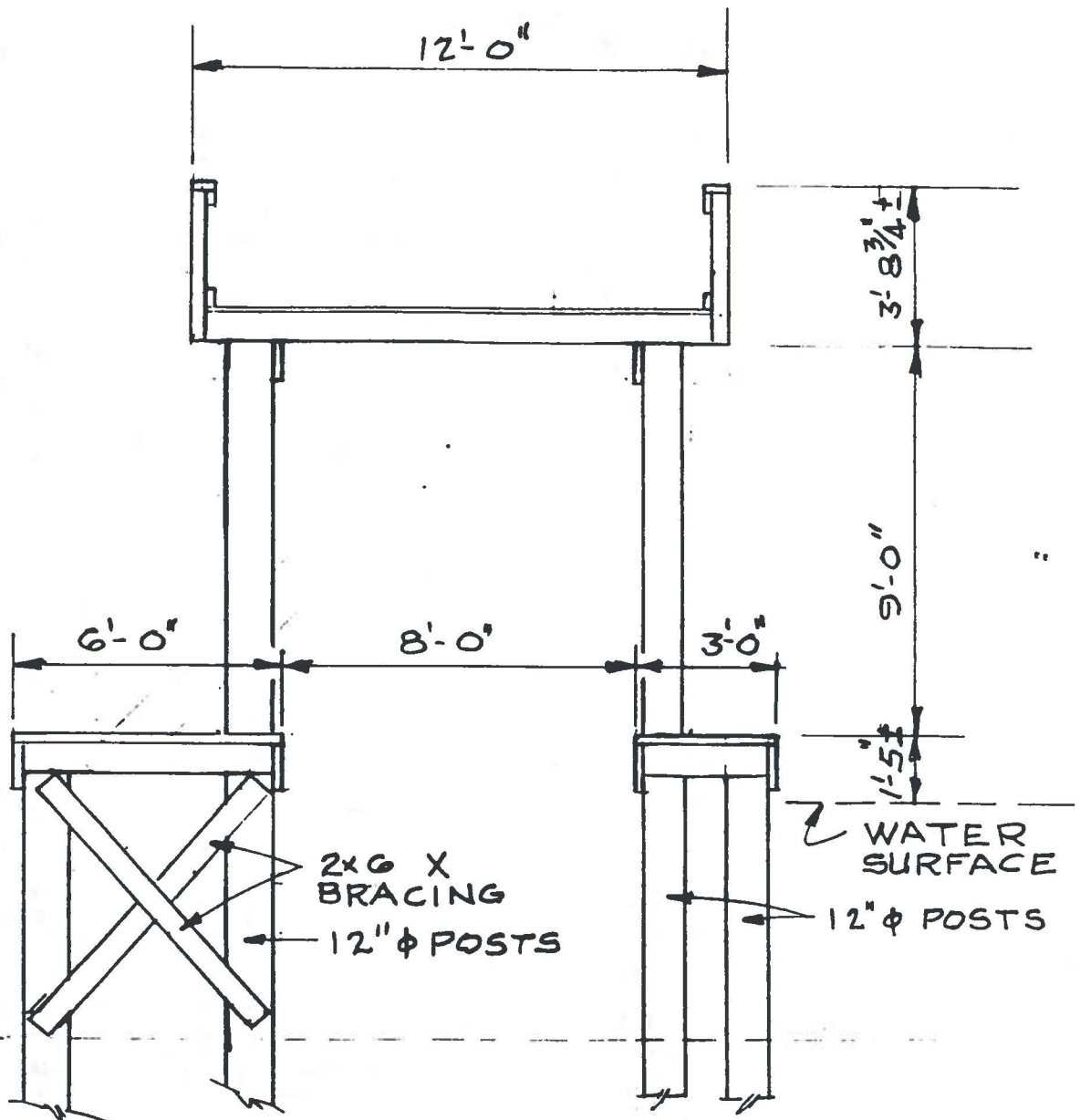
SCALE 1/4" = 1'0"

# BOAT DOCK, LAKE AUSTIN

FOR BLAKE ROBINSON

DRAWN BY RONNFELDT ENGINEERING CONSULTANTS, INC.

4438 CENTERVIEW SUITE 311 SAN ANTONIO, TEXAS (512) 734 8755



## SECTION 1

SH 4 OF 7

11-6-84

SCALE  $\frac{1}{4}" = 1'0"$

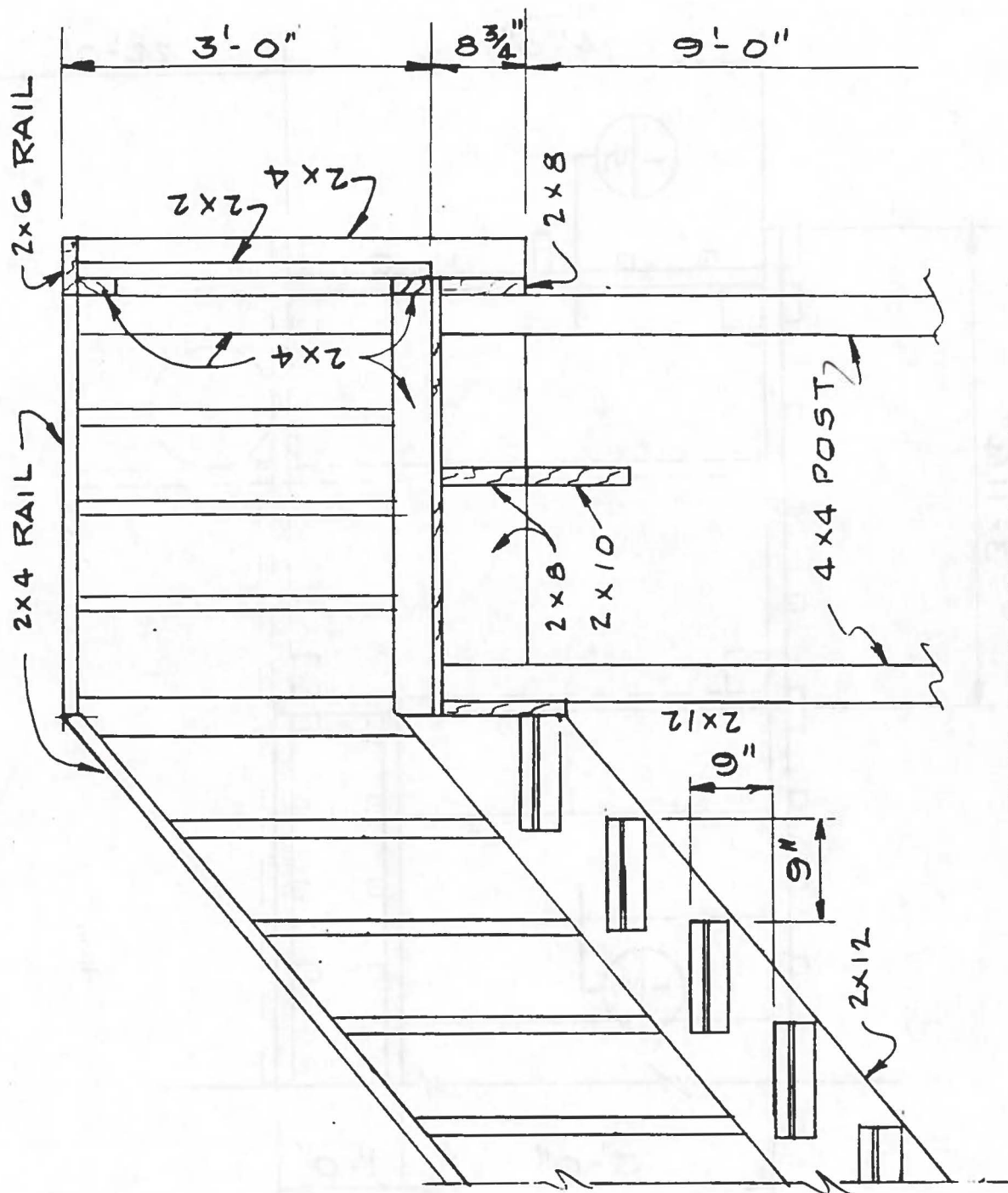
# BOAT DOCK, LAKE AUSTIN

FOR BLAKE ROBINSON

DRAWN BY RONNFELDT ENGINEERING CONSULTANTS, INC.

4438 CENTERVIEW SUITE 311 SAN ANTONIO, TEXAS (512) 734 8755





SH 5047

11-6-84

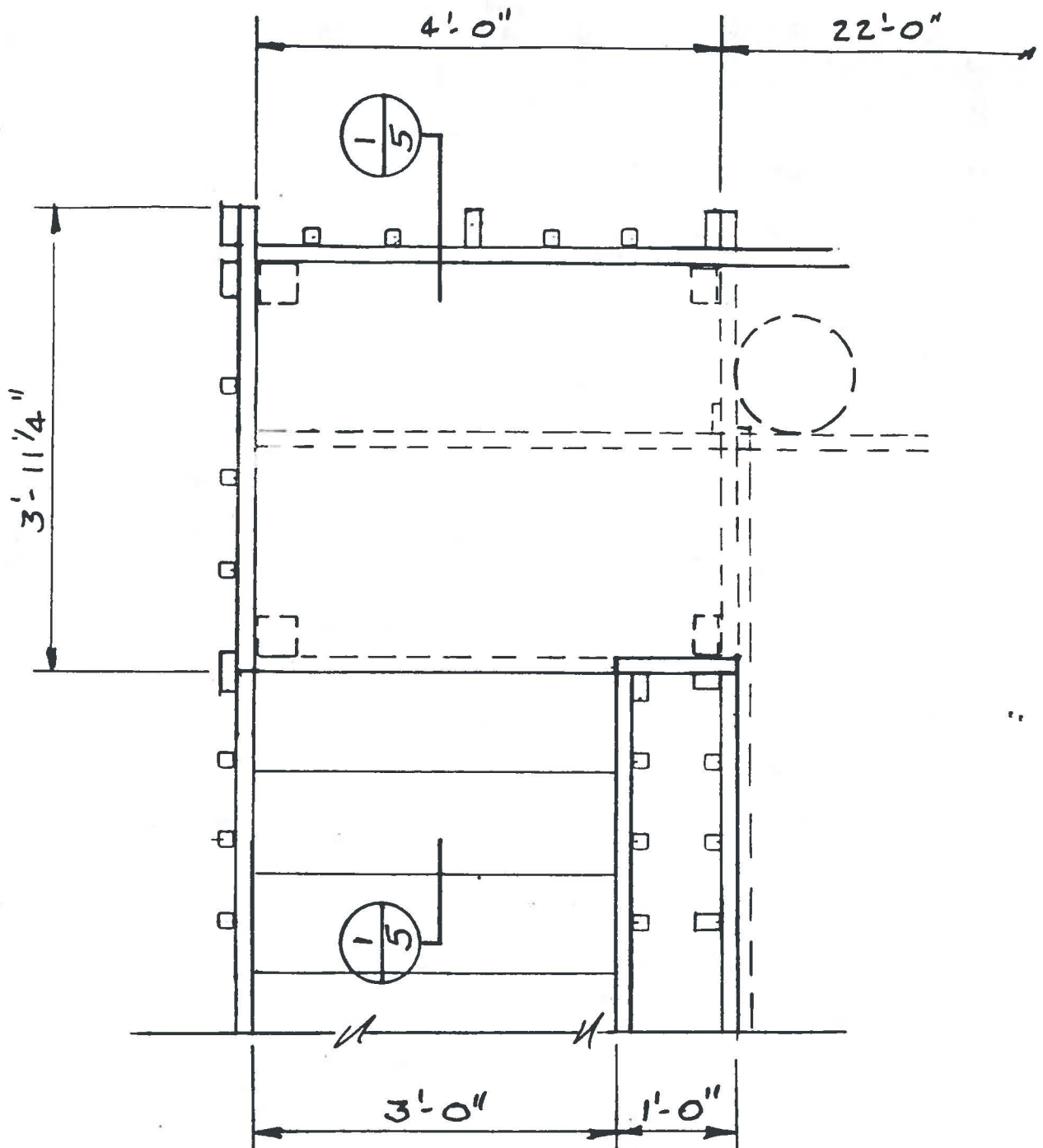
SCALE 3/4" = 1'0"

# BOAT DOCK, LAKE AUSTIN

FOR BLAKE ROBINSON

DRAWN BY RONNFELDT ENGINEERING CONSULTANTS, INC.

4438 CENTERVIEW SUITE 311 SAN ANTONIO, TEXAS (512) 734 8755



# PLAN-STAIR LANDING

SH 6 OF 7

11-6-84

SCALE  $\frac{3}{4}" = 1'0"$

## **BOAT DOCK, LAKE AUSTIN**

### **FOR BLAKE ROBINSON**

**DRAWN BY RONNFELDT ENGINEERING CONSULTANTS, INC.**

**4438 CENTERVIEW SUITE 311 SAN ANTONIO, TEXAS (512) 734 8755**

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## MATERIALS LIST

(2)	2x8x14	wolmanized
(12)	2x12x12	"
(1)	2x12x20	"
(1)	2x12x10	"
(200)	2x6x10	"
5#	#8 Galvanized common nails	
(8)	12"x12'	cresote pilings
(8)	12"x18'	Creosote pilings
(2)	2x12x16	wolmanized
(2)	2x12x16	"
(13)	2x8x12	"
(4)	2x8x12	"
(250)	2x6x12	"
(30)	2x4x8	"
(5)	2x4x14	"
(7)	1x12x16	cedar
(10)	1x4x16	cedar
(14)	1x2x16	cedar
(3)	4x4x12	wolmanized
(1)	2x10x16	"
10#	#8 galvanized nails	
(6)	4x8x3/4"	exterior plywood decking
(60)	5"x1/4"	screws
(20)	yards indoor-outdoor carpet	



*Approved*

# MEMORANDUM

TO: Parks and Recreation Board

FROM: Manuel A. Mollinedo, Director  
Parks and Recreation Department

DATE:

SUBJECT: Construction of single-slip boat dock, at 5321 Tortuga Trail  
File # SP-91-0082DS

A request has been received from Bill and Kim Bohls, to construct a single-slip boat dock, at 5321 Tortuga Trail.

Attached are details of the project and the review comments from the Parks and Recreation Department staff.

The site plans have been approved by the Planning and Development Department, meeting the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments).

## Recommendation

I recommend approval of the request to construct a single-slip boat dock at 5321 Tortuga Trail, in accordance with Site Plan # SP-91-0082DS, subject to the following conditions:

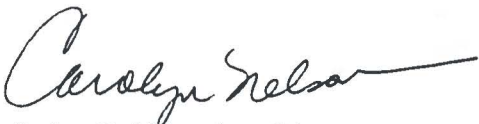
1. A dimensioned site plan should be provided to show the exact location of the dock along the shoreline, the 10' side property line setbacks, trees and any other natural features.
2. The height of the dock above the waterline should be provided.
3. A side elevation being provided to show the shoreline and how the walkway is attached.

Parks and Recreation Board  
Boat Dock, 5321 Tortuga Trail

Page2

4. Navigation lights are not required for structures on Dry Creek; however, if they are provided they must conform to all the requirements of Section 13-2-793 (Navigation Lioghts) of the City Code.

If I can provide you with any additional information, please contact me.



Manuel A. Mollinedo, Director  
Parks and Recreation Department

MM:PM



## D I S T R I B U T I O N      M E M O R A N D U M

9-APR-1991

TO: COMMENT DUE DATE: 17-APR-1991  
FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT  
SUBJECT: DEVELOPMENT PERMIT ONLY SP-91-0082DS

PROJECT: MOUNT BONNELL SHORES - *BOAT DOCK*

CASE MANAGER: HAMILTON, SHAW 499-2751

APPLICATION DATE: 9-APR-1991

ZIP: 78731

WATERSHED: Lake Austin

*5321 Tortuga Trail*

RURAL WATER SUPPLY

FULL PURPOSE

SUBJ TO COMP WATERSHED ORD

OWNER: BOHLS, BILL &amp; KIM

5321 TORTUGA TRAIL AUSTIN, TX 78731

(512)794-8386

CONTACT: KIM BOHLS

AGENT: BOHLS, KIM

5321 TORTUGA TRAIL AUSTIN, TX 78731

(512)794-8386

CONTACT: KIM BOHLS

SITE PLAN AREA: 0.000 ACRES ( 0 SQ FT)  
UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:  
EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
	0.000/ 0	BOAT DOCK

RELATED CASE NUMBERS (IF ANY):

## OTHER PROVISIONS:

QUALIFIES AS A SMALL PROJECT

TIA IS NOT REQUIRED

FEE RECEIPT #: 915955

SUBD NAME: MOUNT BONNELL SHORES

BLOCK/LOT: BLOCK C, LOT 29

PLAT BOOK/PAGE: 80 PAGES 325-327

VARIANCES/WAIVERS, BONUSSES:

\*\* REVIEWERS - PLEASE USE NEW COMMENTS TRACKING SYSTEM \*\*

REVIEW COMMENTS

TO: SITE PLAN PROCESSING CASE MANAGER: Hamilton, Shaw

FROM: FILE NUM: SP-91-0082DS

PROJECT NAME: MOUNT BONNELL SHORES-BOAT DOCK

LOCATION: 5321 TORTUGA TRL

DUE DATE: 17-APR-1991

REVIEWER: MARSH, PETER

DATE: 7-MAY-1991

PD 1. A dimensioned site plan should be provided that would show the shoreline length, location of dock along the shoreline, 10' side property line setbacks, trees and any other natural features.

PD 2. The end elevation of the dock should indicate the height of the dock above the water.

PD 3. A side elevation should be provided to show the shoreline and how the walkway is attached to shore.

PD 4. Navigation lights are NOT required on Dry Creek, however if they are provided the light station should be located on the upstream side of the dock and the lights should conform with all the requirements of Section 13-2-793 (Navigation Lights) of the City Code.

PD 5. This request has yet to be submitted to the Parks and Recreation Board for their approval. It is anticipated that it will be considered at their May meeting.

S U M M A R Y   L E T T E R

We are hereby requesting approval for the following:

CONSTRUCTION OF A BOAT DOCK FOR A SINGLE FAMILY RESIDENCE  
LOCATED AT 5321 TORTUGA TRAIL, AUSTIN, TEXAS.

LENGTH AND WIDTH TO BE 27 x 16 ACCORDING TO CODE  
REQUIREMENTS.

CONSTRUCTION EQUIPMENT TO BE WATERBORNE, THUS NO SHORELINE  
MODIFICATION, DREDGING OR TREE/VEGETATION REMOVAL WILL  
BE REQUIRED.

*Kim Bohls*  
Kim Bohls  
Owner